

DEMOLITION PLAN

DEMOLITION SCOPE OF WORK

- 1. SEE DEMOLITION GENERAL NOTES
- 2. REMOVE EXISTING EXTERIOR WALLS AND FOUNDATION
- 3. REMOVE EXISTING ROOFING AND CEILING, REPLACE WITH NEW CEILING SYSTEM WITH HANGING TRUSSES
- 4. REMOVE EXISTING ROOFING HANGING TRUSSES AND SUPPORTS AND REPLACE WITH NEWLY DESIGNED TRUSSES AND SUPPORTS
- 5. REMOVE EXISTING EXTERIOR WALLS AND FOUNDATION
- 6. REMOVE EXISTING ROOFING AND CEILING
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- 100. REMOVE EXISTING INTERIOR WALLS

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR IS TO BE RESPONSIBLE TO OBTAIN AND THE JURISDICTION OF THE FLORIDA BUILDING CODE (FBC) AND OTHER STATE AND LOCAL DEMOLITION REQUIREMENTS.
2. ALL DEMOLITION MUST BE DONE AND PROPERLY REPAIRED WITHIN THE DEMOLITION SCOPE OF WORK AS REQUIRED BY THESE DRAWINGS.
3. WORK OF THESE DRAWINGS IS THAT THE CONTRACTOR SHALL FULLY COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS AND REGULATIONS AND ACCESSORIES TO COMPLETE THE SCOPE OF WORK SHOWN ON THESE DRAWINGS. REFER TO PLAN FOR LOCATION OF WORK.
4. CHECK LOCAL CODES AND ORDINANCES FOR DEMOLITION AND INSPECTION REQUIREMENTS. CONTACT LOCAL AGENCIES FOR THE ARCHITECT.
5. PROTECT ALL EXISTING UTILITIES, STRUCTURES, AND CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
6. BEFORE ANY WORK BEGINS, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT.
7. CONSULT THE OWNER OF ANY EXISTING UTILITIES AND STRUCTURES TO BE REMOVED. OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT.
8. AT THE END OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL REMOVE ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL REMOVE ALL EXISTING UTILITIES AND STRUCTURES.
9. ALL EXISTING UTILITIES AND STRUCTURES SHALL BE REMOVED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT.
10. CHANGE AND REPAIR DEMOLITION WORK TO AVOID DAMAGE TO CONSTRUCTION NEEDED TO BE DONE.
11. GENERAL CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT.
12. NOTIFY ALL AFFECTED PARTIES OF ANY DEMOLITION WORK THAT MAY AFFECT THEIR PROPERTY OR BUSINESS. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT.
13. REMOVE AND STORE ALL EXISTING UTILITIES AND STRUCTURES IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT.
14. DEMOLITION AND REMOVAL OPERATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT.
15. REMOVE DEMOLITION AND REMOVAL AS TO PREVENT THE EXISTING UTILITIES AND STRUCTURES FROM BEING DAMAGED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT.
16. EACH CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES AND PROTECT ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT.
17. DIRECTION OF DEMOLITION AND REMOVAL SHALL BE PROVIDED IN EACH CASE BY THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT.
18. CONTACT REMOVAL OPERATIONS TO THE OWNER IF THE EXISTING UTILITIES AND STRUCTURES ARE TO BE REMOVED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT.
19. DEMOLITION AND REMOVAL OPERATIONS SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT.
20. REMOVE UTILITIES AND STRUCTURES FROM DEMOLITION AND REMOVAL OPERATIONS SHALL BE REMOVED FROM THE PROJECT. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT.
21. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT.

DEMOLITION SYMBOLS LEGEND

- 1. EXISTING AREA TO BE REMOVED
- 2. EXISTING AREA TO BE PARTIALLY DEMOLISHED. REFER TO SCOPE OF WORK.
- 3. EXISTING AREA TO BE COMPLETELY REMOVED
- 4. EXISTING AREA TO BE RECONSTRUCTED TO REMAIN
- 5. EXISTING AREA TO BE REPAIRED
- 6. EXISTING AREA TO BE REPAIRED AND REPLACED
- 7. EXISTING AREA TO BE REPAIRED AND REPLACED WITH NEW MATERIALS
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PGS  
 Pedro G. Suarez, AIA  
 PROJECT: 20206  
 SHEET: A-3  
 DATE: 10/1/2020  
 PROJECT TITLE: Mr & Mrs. Sehgal's Residence  
 ADDITION & ALTERATION  
 4115 Miramar Avenue  
 Coral Gables, FL 33134  
 PERMIT  
 PROJECT NO: 20206  
 SHEET NO: A-3



**Mr & Mrs. Sehgal's  
 Residence**

Addition & Alteration

499 Miravia Avenue  
 Long Beach, CA 90804

Sheet No.

**PERMIT**

| Revisions | Date | By |
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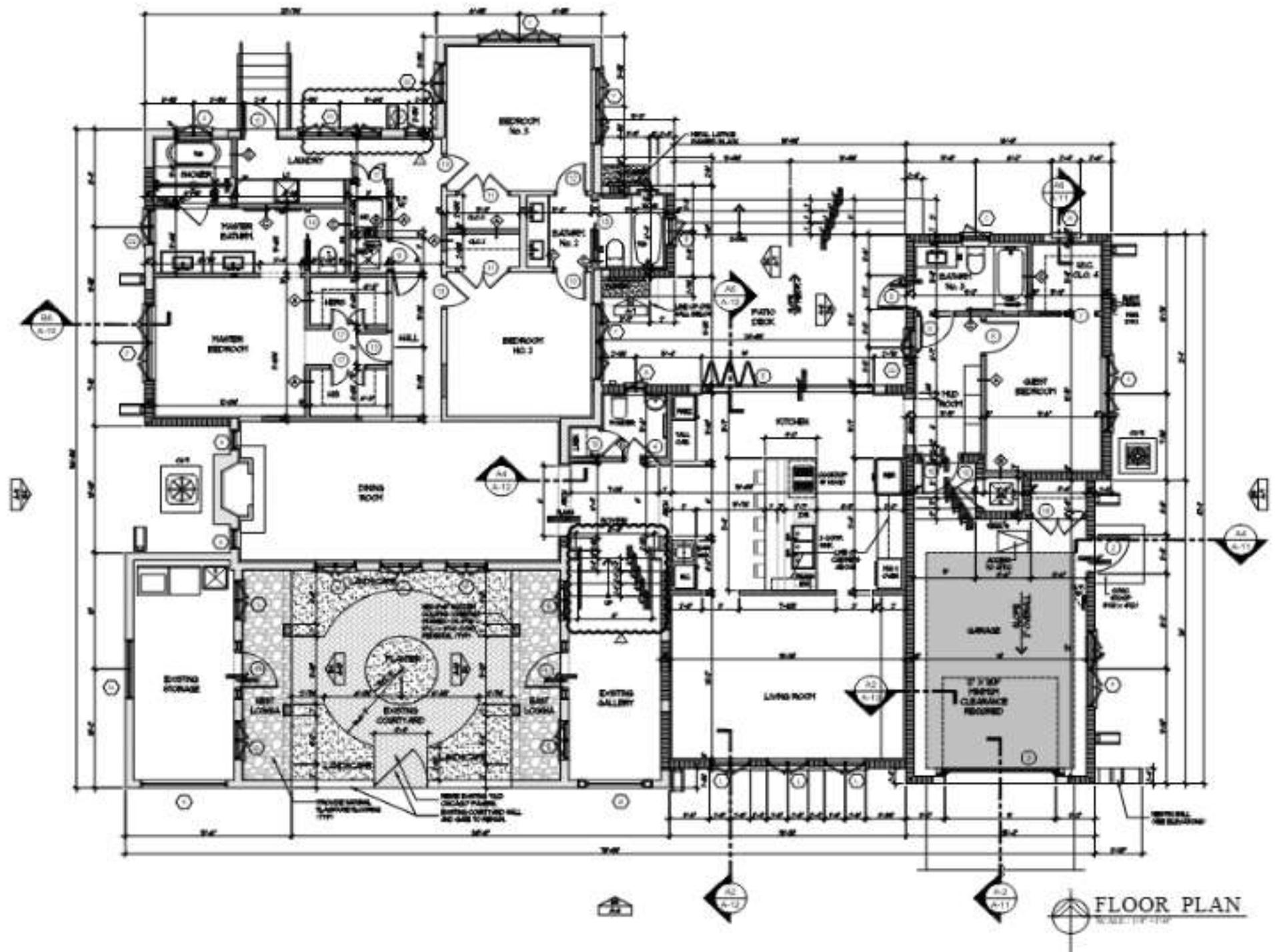
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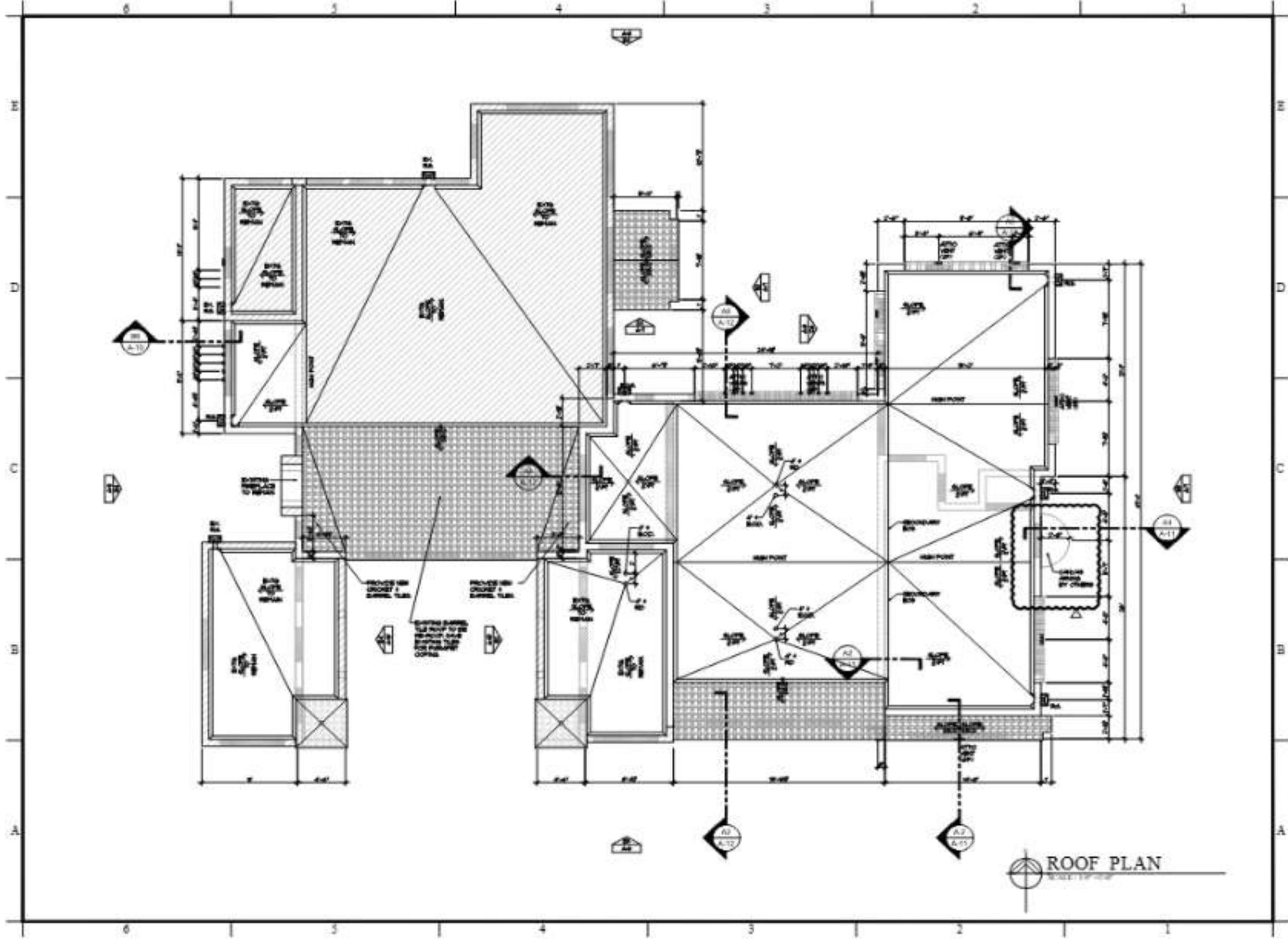
20206

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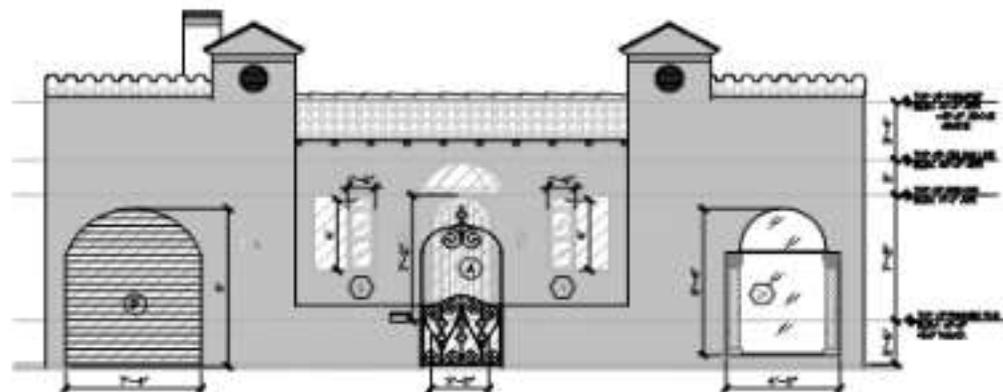
**A-4**



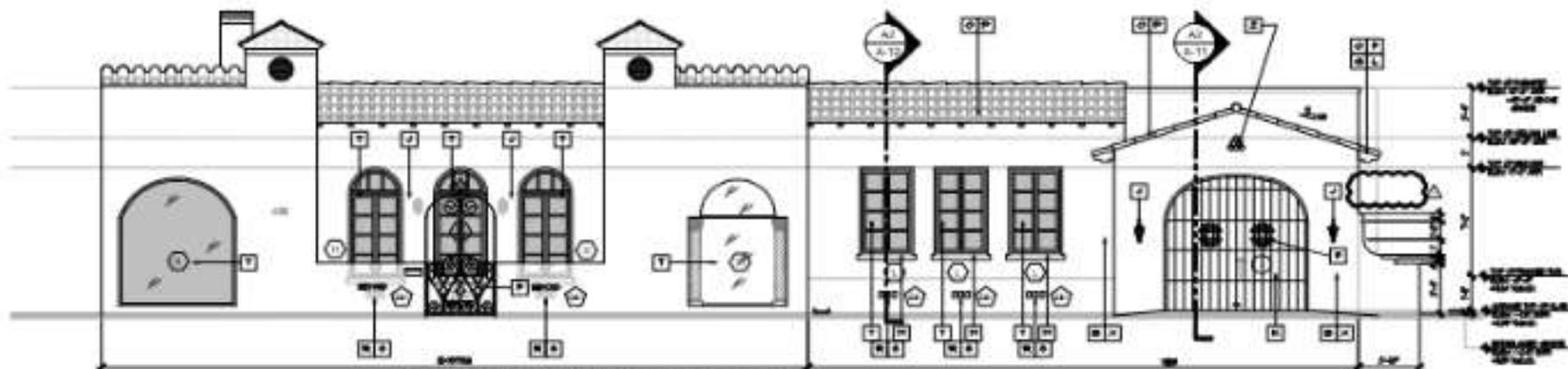
**FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



| Revisions        | Date | By |
|------------------|------|----|
| 1. Initial Issue |      |    |
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08 FRONT (SOUTH) ELEVATION (EXISTING)  
SCALE 1/4" = 1'-0"



09 FRONT (SOUTH) ELEVATION (PROPOSED)  
SCALE 1/4" = 1'-0"

ELEVATIONS KEY-NOTES & SPECIFICATIONS

- A GROUND LEVEL TO BE PROVIDED AT POINT MARK 4 AT LATEST SURVEY WITH EXISTING FINISH.
- B WALL DEMOLITION COURSE MARK.
- C FINISH EXISTING FLOOR LEVEL, FINISH AND FINISHING AT FINISHING LEVEL OF QUALITY, SEE PART A-4.
- D EXISTING WALL LINES.
- E FINISH EXISTING FLOOR AT FINISH AND GLAZE AND FINISH COURSE MARK AT EACH SIDE.
- F FINISH EXISTING FLOOR AT FINISH AND FINISHING LEVEL OF QUALITY, SEE PART A-4.
- G FINISH EXISTING FLOOR AT FINISH AND FINISHING LEVEL OF QUALITY, SEE PART A-4.
- H FINISH EXISTING FLOOR AT FINISH AND FINISHING LEVEL OF QUALITY, SEE PART A-4.

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- H FINISH EXISTING FLOOR AT FINISH AND FINISHING LEVEL OF QUALITY, SEE PART A-4.

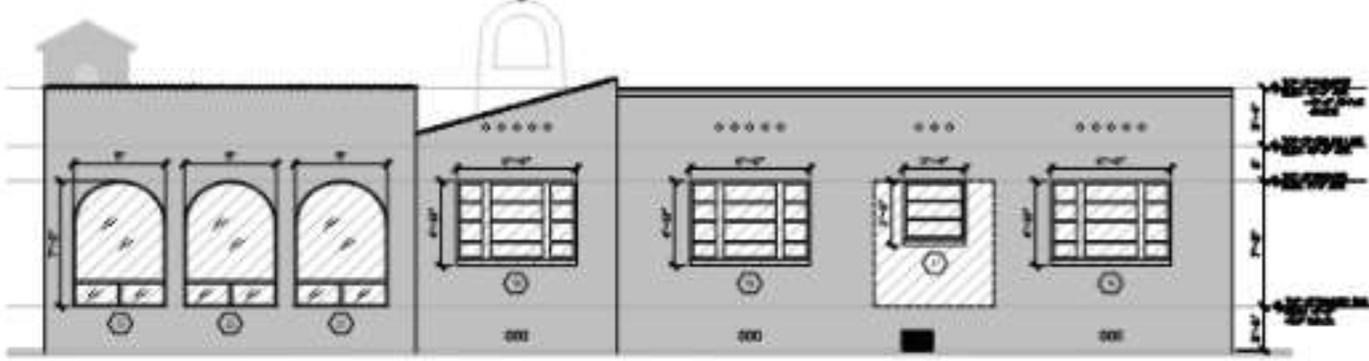
**SYMBOLS LEGEND**

|  |   |
|--|---|
|  | EXISTING CONSTRUCTION TO REMAIN         |
|  | EXISTING CONSTRUCTION TO BE DEMO        |
|  | EXISTING OPENING/ WALL TO BE FILL/FIXED |
|  | NEW CONSTRUCTION                        |
|  | DOOR TYPE                               |
|  | WINDOW TYPE                             |
|  | KEY NOTE / FINISH SPECIFICATIONS        |

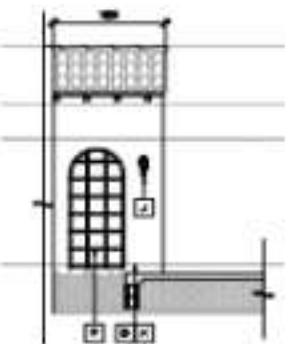
| Rev. | Description | Date     |
|------|-------------|----------|
| 1    | As Issued   | 06/20/20 |



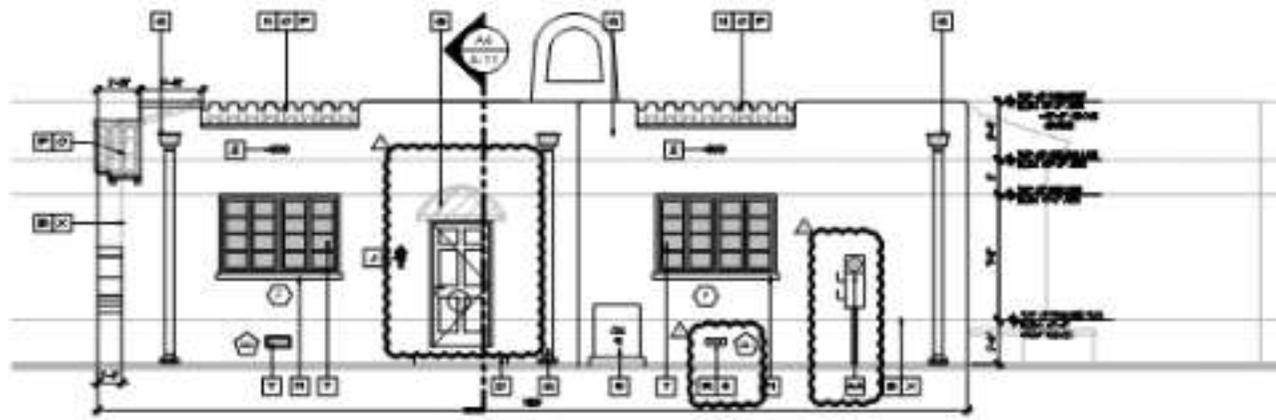
| Item          | Quantity | Unit        |
|---------------|----------|-------------|
| 1. Alteration | 1        | Square Foot |
| 2. Addition   | 1        | Square Foot |



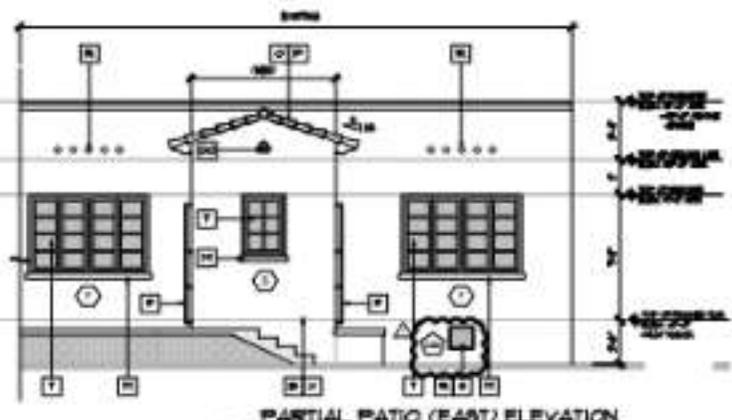
05 RIGHT SIDE (EAST) ELEVATION (EXISTING)  
SCALE: 1/4" = 1'-0"



02 PARTIAL BATH #2 (SOUTH) ELEVATION  
(PROPOSED)  
SCALE: 1/4" = 1'-0"



06 RIGHT SIDE (EAST) ELEVATION (PROPOSED)  
SCALE: 1/4" = 1'-0"



03 PARTIAL PATIO (EAST) ELEVATION  
(PROPOSED)  
SCALE: 1/4" = 1'-0"

ELEVATIONS KEY-NOTES & SPECIFICATIONS

- 1. GROUND LEVEL TO BE PROVIDED AT POINT MARKED WITH 'A' AT LATEST SURVEY WITH EXISTING ELEVATION.
- 2. WALL DEMONSTRATION COLOR: WHITE.
- 3. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 4. GROUTING SHALL BE DONE AT INTERIOR AND EXTERIOR AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 5. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 6. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.

- 7. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 8. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 9. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 10. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 11. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 12. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.

- 13. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 14. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 15. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 16. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 17. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 18. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.

- 19. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 20. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 21. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 22. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 23. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 24. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.

- 25. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 26. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 27. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 28. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 29. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.
- 30. FINISH SURFACING: WHITE GROUT, WHITE AND GREY-GREEN AT INTERIOR CORNER OF WALLS. SEE PLAN A-4.

SYMBOLS LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMO
- EXISTING OPENING/SHALL TO BE FILL/FILL
- NEW CONSTRUCTION
- DOOR TYPE
- WINDOW TYPE
- KEY NOTE / FINISH SPECIFICATIONS





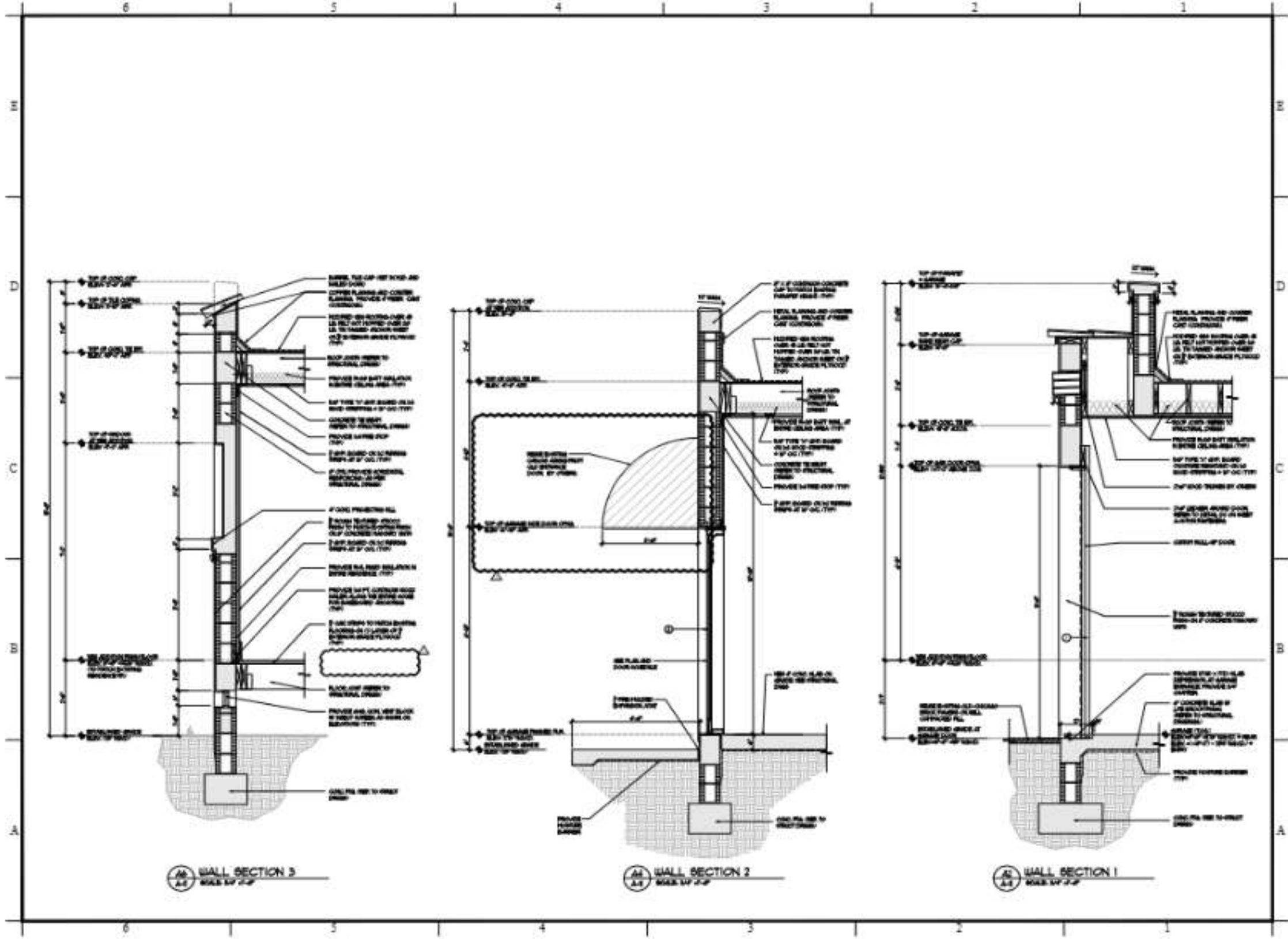




Project Name  
Project No.



| Revisions | No. | Date     |
|-----------|-----|----------|
| 1         | 1   | 02/20/06 |
|           |     |          |
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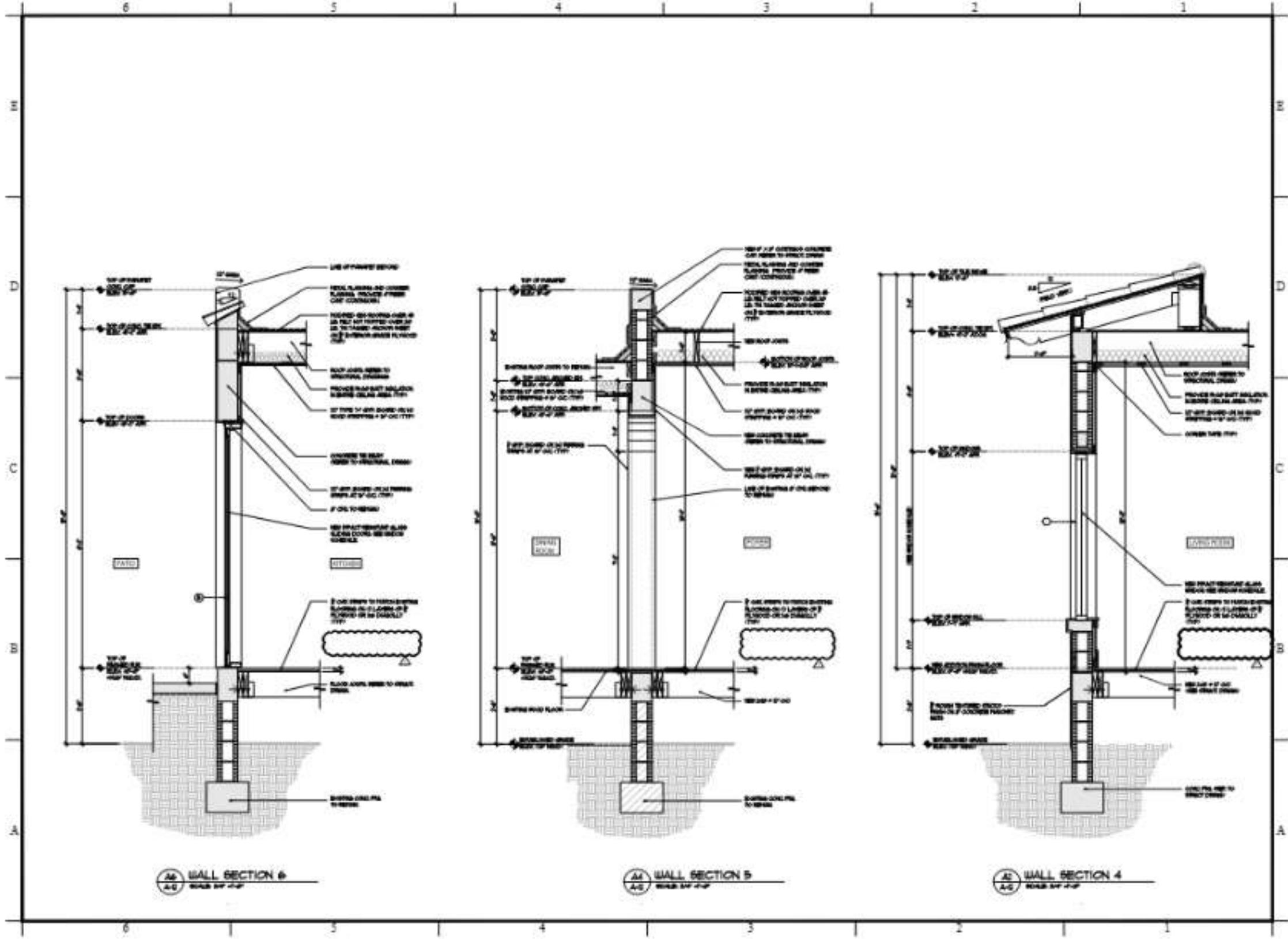
WALL SECTION 3  
WALL SF 7.2.2

WALL SECTION 2  
WALL SF 7.2.2

WALL SECTION 1  
WALL SF 7.2.2



| Revision | By | Date     |
|----------|----|----------|
| 1        | AS | 01/11/18 |
|          |    |          |
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6 WALL SECTION 6  
SCALE: 1/8" = 1'-0"

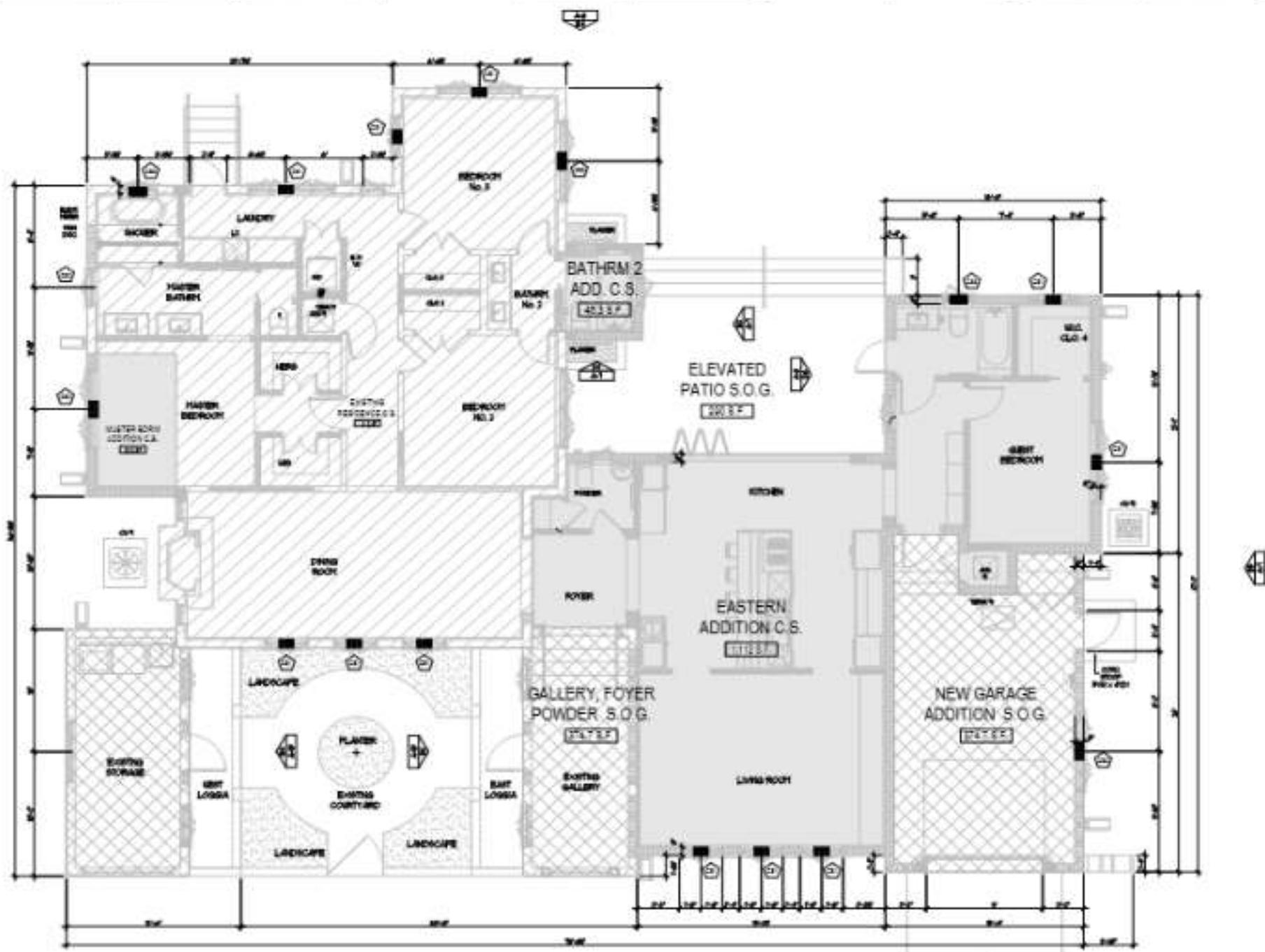
5 WALL SECTION 5  
SCALE: 1/8" = 1'-0"

4 WALL SECTION 4  
SCALE: 1/8" = 1'-0"





| Revisions        | Date | By |
|------------------|------|----|
| 1. Initial Issue |      |    |
| 2. Revisions     |      |    |
| 3. Revisions     |      |    |
| 4. Revisions     |      |    |
| 5. Revisions     |      |    |
| 6. Revisions     |      |    |
| 7. Revisions     |      |    |
| 8. Revisions     |      |    |
| 9. Revisions     |      |    |
| 10. Revisions    |      |    |



| CRAWL SPACE VENT CALCULATIONS   |   |
|---|---|
| NEW PERMEABILITY AND AREA ARE SLAB ON GRADE NOT AIR TIGHT<br>NEED TO USE THIS CALCULATION |   |
| EXISTING CRAWL SPACE = 1200 SF + 1200 SF + 1200 SF = 3600 SF                              | NEW CRAWL SPACE = 1200 SF                                     |
| NEW CRAWL SPACE AREA = 1200 SF + 1200 SF + 1200 SF = 3600 SF                              | NEW PERMEABILITY AREA = 1200 SF + 1200 SF + 1200 SF = 3600 SF |
| TOTAL CRAWL SPACE AREA = 3600 SF + 3600 SF = 7200 SF                                      | TOTAL PERMEABILITY AREA PROVIDED = 3600 SF                    |
| REQUIRED PERMEABILITY AREA = 7200 SF / 2 = 3600 SF  | PERMITS REQUIRED = 3600 SF                                    |

| CRAWL SPACE LEGEND |                                 |
|--------------------|---------------------------------|
|                    | EXISTING CRAWL SPACE AREA       |
|                    | NEW CRAWL SPACE AREA            |
|                    | NEW CONCRETE SLAB ON GRADE AREA |
|                    | 12" x 12" GRID ON PERIMETER     |
|                    | 12" x 12" GRID ON WALL          |
|                    | 12" x 12" GRID ON NEW SLAB      |



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6 5 4 3 2 1

# GENERAL STRUCTURAL NOTES

# STRUCTURAL LEGEND

# PGS

Pedro G. Suarez, AIA

10442 S.W. 112th Street  
Miami, FL 33176-6028  
Telephone: (305) 642-0710  
Email: Pedrosu@pgsinc.com

AE 001710 - 00 04740

Scale 1/4"



Title Block

Professional Engineer  
Pedro G. Suarez, AIA  
No. 10000  
State of Florida  
No. 10000

**GENERAL**

1. ALL STRUCTURAL DRAWINGS SHALL BE MADE IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS FOR LOADS, MATERIALS, METHODS, AND DETAILS.
2. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROVIDE NECESSARY SUPPORTS TO THE EXISTING STRUCTURE FROM TO BE MAINTAINED OR TO BE REMOVED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING CONDITIONS.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING CONDITIONS. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND PROVIDE NECESSARY SUPPORTS TO THE EXISTING STRUCTURE FROM TO BE MAINTAINED OR TO BE REMOVED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING CONDITIONS.
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**CONCRETE**

1. ALL CONCRETE SHALL BE CAST IN ACCORDANCE WITH THE FOLLOWING CODES AND REGULATIONS:
2. ALL CONCRETE SHALL BE CAST IN ACCORDANCE WITH THE FOLLOWING CODES AND REGULATIONS:
3. ALL CONCRETE SHALL BE CAST IN ACCORDANCE WITH THE FOLLOWING CODES AND REGULATIONS:
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**STEEL**

1. ALL STEEL SHALL BE CAST IN ACCORDANCE WITH THE FOLLOWING CODES AND REGULATIONS:
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**WOOD**

1. ALL WOOD SHALL BE CAST IN ACCORDANCE WITH THE FOLLOWING CODES AND REGULATIONS:
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**FOUNDATION**

1. ALL FOUNDATION SHALL BE CAST IN ACCORDANCE WITH THE FOLLOWING CODES AND REGULATIONS:
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**MECHANICAL**

1. ALL MECHANICAL SHALL BE CAST IN ACCORDANCE WITH THE FOLLOWING CODES AND REGULATIONS:
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**CONCRETE SLAB ON GRADE**

1. ALL CONCRETE SHALL BE CAST IN ACCORDANCE WITH THE FOLLOWING CODES AND REGULATIONS:
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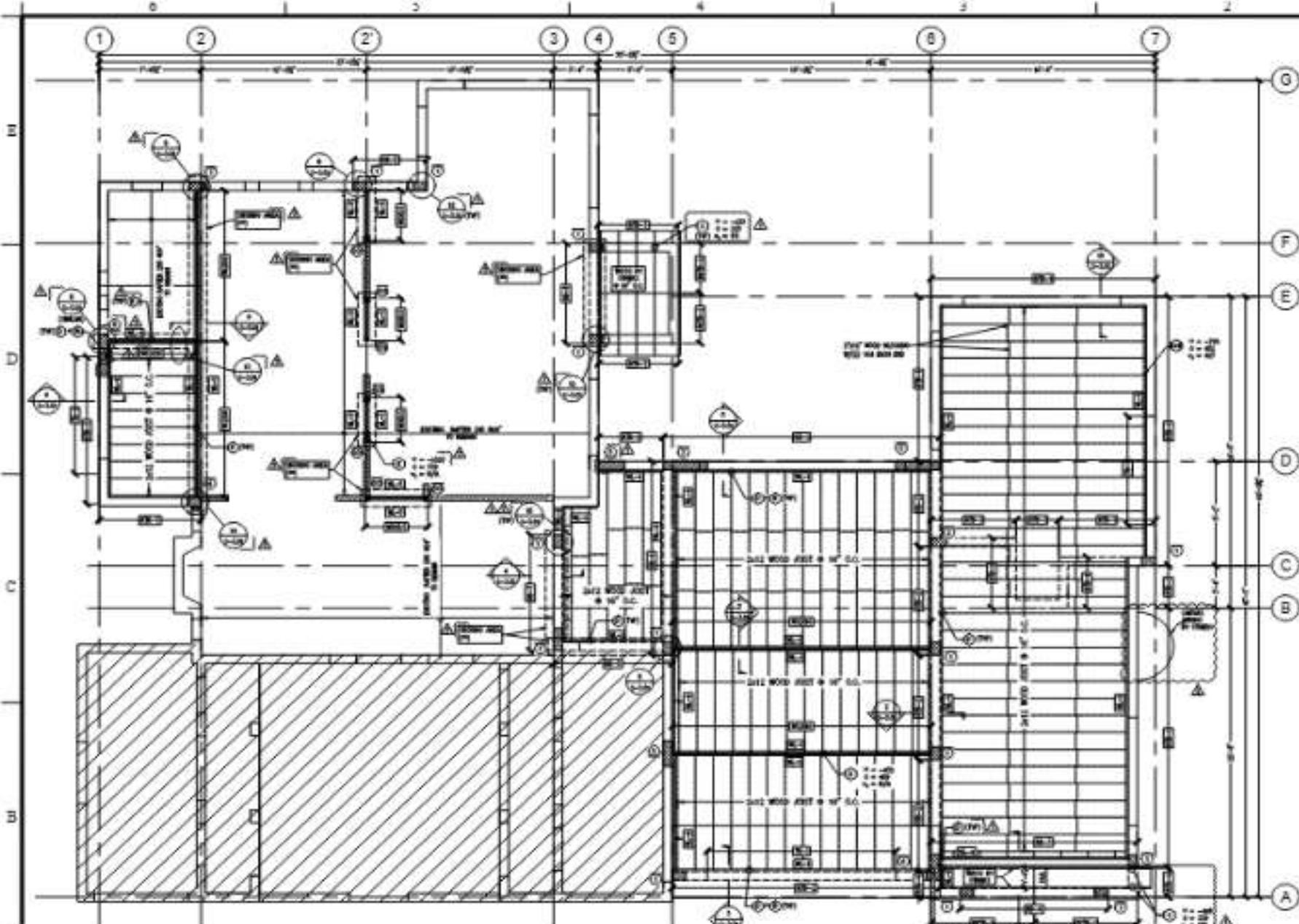
**GENERAL NOTES**

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4. ALL GENERAL NOTES SHALL BE CAST IN ACCORDANCE WITH THE FOLLOWING CODES AND REGULATIONS:
5. ALL GENERAL NOTES SHALL BE CAST IN ACCORDANCE WITH THE FOLLOWING CODES AND REGULATIONS:

| SYMBOL/ACRONYM                          | DESCRIPTION |
|---|-------------|
| ALL                                     | ALL WORK    |
| CON                                     | CONCRETE    |
| STEEL                                   | STEEL       |
| WOOD                                    | WOOD        |
| FOUND                                   | FOUNDATION  |
| MECH                                    | MECHANICAL  |
| GEN                                     | GENERAL     |
| 1/4"                                    | SCALE       |
| 1/8"                                    | SCALE       |
| 1/16"                                   | SCALE       |
| 1/32"                                   | SCALE       |
| 1/64"                                   | SCALE       |
| 1/128"                                  | SCALE       |
| 1/256"                                  | SCALE       |
| 1/512"                                  | SCALE       |
| 1/1024"                                 | SCALE       |
| 1/2048"                                 | SCALE       |
| 1/4096"                                 | SCALE       |
| 1/8192"                                 | SCALE       |
| 1/16384"                                | SCALE       |
| 1/32768"                                | SCALE       |
| 1/65536"                                | SCALE       |
| 1/131072"                               | SCALE       |
| 1/262144"                               | SCALE       |
| 1/524288"                               | SCALE       |
| 1/1048576"                              | SCALE       |
| 1/2097152"                              | SCALE       |
| 1/4194304"                              | SCALE       |
| 1/8388608"                              | SCALE       |
| 1/16777216"                             | SCALE       |
| 1/33554432"                             | SCALE       |
| 1/67108864"                             | SCALE       |
| 1/134217728"                            | SCALE       |
| 1/268435456"                            | SCALE       |
| 1/536870912"                            | SCALE       |
| 1/1073741824"                           | SCALE       |
| 1/2147483648"                           | SCALE       |
| 1/4294967296"                           | SCALE       |
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| 1/17179869184"                          | SCALE       |
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| 1/68719476736"                          | SCALE       |
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| 1/253530132498645472446966624452"       | SCALE       |
| 1/507060264997290944893933248904"       | SCALE       |
| 1/1014120529994581897867866497808"      | SCALE       |
| 1/2028241059989163795735733995616"      | SCALE       |
| 1/4056482119978327591471467991232"      | SCALE       |
| 1/8112964239956655182942835982464"      | SCALE       |
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| 1/2596148556786128578541688758592"      | SCALE       |
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| 9        | 02/20/20 | PGS |
| 10       | 02/20/20 | PGS |



**ROOF LOAD NOTES**

1. UNIFORM LOADS  
 UNIFORM DEAD LOAD (DL) \_\_\_\_\_ PSF  
 UNIFORM LIVE LOAD (LL) \_\_\_\_\_ PSF  
 UNIFORM WIND LOAD (WL) \_\_\_\_\_ PSF

**LEGEND:**

- ADDED REMOVABLE VOLUME/ICE CREAM FREEZER
- EXISTING 6" CEMENT WALL
- EXISTING 8" CEMENT WALL

WOOD - ALL JOISTS AND RAFTERS SHALL BE 2" X 12" S.P.F. UNLESS NOTED OTHERWISE.

- 1 - 1" X 12" S.P.F. JOIST SPACING @ 16" O.C.
- 2 - 1" X 12" S.P.F. RAFTER SPACING @ 16" O.C.
- 3 - 1" X 12" S.P.F. JOIST SPACING @ 24" O.C.
- 4 - 1" X 12" S.P.F. RAFTER SPACING @ 24" O.C.
- 5 - 1" X 12" S.P.F. JOIST SPACING @ 32" O.C.
- 6 - 1" X 12" S.P.F. RAFTER SPACING @ 32" O.C.

NOTE: ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.

NOTE: ALL JOIST AND RAFTER SPACING SHALL BE 24" O.C. UNLESS NOTED OTHERWISE.

NOTE: ALL JOIST AND RAFTER SPACING SHALL BE 32" O.C. UNLESS NOTED OTHERWISE.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD. REPORT TO CHANGES ANY DISCREPANCY IN FIELD.

THE CONTRACTOR TO PROVIDE ADEQUATE BRACING TO ALL JOISTS.

**WOOD BRACKETS**

- ALL BRACKETS FOR JOIST AND RAFTER SHALL BE 2" X 12" S.P.F. UNLESS NOTED OTHERWISE. ALL BRACKETS SHALL BE FULLY BRACKETED TO THE JOIST AND RAFTER.
- WOOD BRACKETS SHALL BE FULLY BRACKETED TO THE JOIST AND RAFTER. ALL BRACKETS SHALL BE FULLY BRACKETED TO THE JOIST AND RAFTER.
- ALL JOIST AND RAFTER CONNECTIONS SHALL BE FULLY BRACKETED TO THE JOIST AND RAFTER. ALL JOIST AND RAFTER CONNECTIONS SHALL BE FULLY BRACKETED TO THE JOIST AND RAFTER.
- BRACKETS SHALL BE FULLY BRACKETED TO THE JOIST AND RAFTER. ALL JOIST AND RAFTER CONNECTIONS SHALL BE FULLY BRACKETED TO THE JOIST AND RAFTER.

**ROOF FLOOR FRAMING PLAN**

SCALE 1/8" = 1'-0"

**PLYWOOD ROOF SHEAR DIAPHRAGM SCHEDULE**

| FLOOR GRADE | PLYWOOD TYPE        | THICKNESS | SPACING  | JOIST TYPE      | JOIST SPACING | REMARKS        |
|-------------|---------------------|-----------|----------|-----------------|---------------|----------------|
| FLOOR       | APA RATED SHEATHING | 5/8"      | 24" O.C. | 2" X 12" S.P.F. | 16" O.C.      | USE COMB. NAIL |
| ROOF        | APA RATED SHEATHING | 5/8"      | 24" O.C. | 2" X 12" S.P.F. | 16" O.C.      | USE COMB. NAIL |

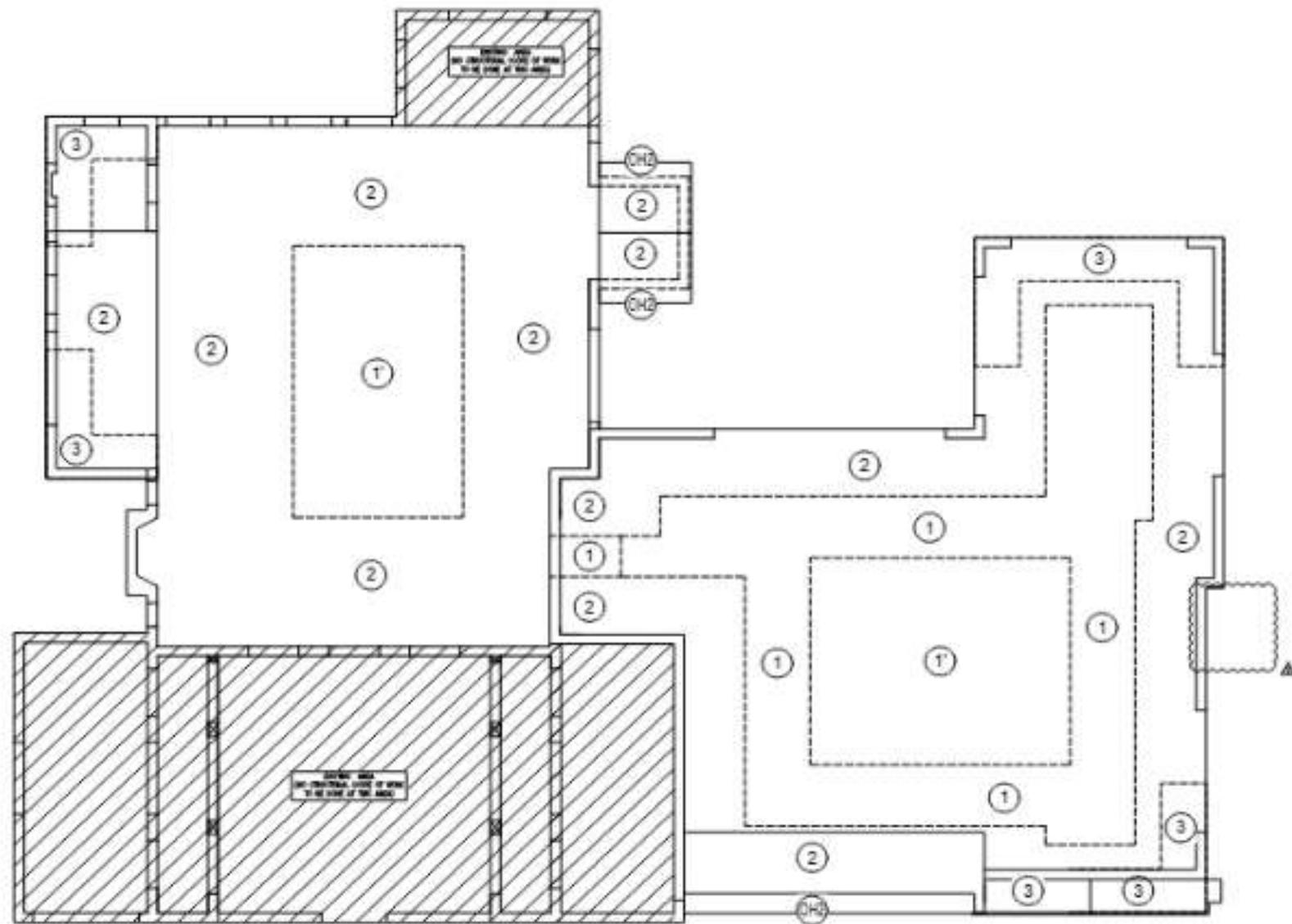
**WOOD CONNECTOR SCHEDULE**

| NO. | W/NO.   | DESCRIPTION            | TOTAL QUANTITY | STA. # |
|-----|---------|------------------------|----------------|--------|
| 1   | W/NO. 1 | 2" X 12" S.P.F. JOIST  | 10             | 10     |
| 2   | W/NO. 2 | 2" X 12" S.P.F. RAFTER | 10             | 10     |
| 3   | W/NO. 3 | 2" X 12" S.P.F. JOIST  | 10             | 10     |
| 4   | W/NO. 4 | 2" X 12" S.P.F. RAFTER | 10             | 10     |
| 5   | W/NO. 5 | 2" X 12" S.P.F. JOIST  | 10             | 10     |
| 6   | W/NO. 6 | 2" X 12" S.P.F. RAFTER | 10             | 10     |

- NOTES:**
- BRACKETED PLYWOOD SHALL BE NAIL TO JOIST.
  - ALL JOIST AND RAFTER SHALL BE FULLY BRACKETED TO THE JOIST AND RAFTER.
  - ALL JOIST AND RAFTER SHALL BE FULLY BRACKETED TO THE JOIST AND RAFTER.
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  - ALL JOIST AND RAFTER SHALL BE FULLY BRACKETED TO THE JOIST AND RAFTER.



FOR SOCIALLY RESPONSIBLE AND SUSTAINABLE DESIGN  
 PRINTING COMPANY OF THE OCCUPANT USE ONLY TO BE REPRODUCED BY THE OCCUPANT  
 AND THE OCCUPANT MUST BE REPRODUCED BY THE OCCUPANT



**ROOF WIND LOAD DIAGRAM**  
Scale: 1/4" = 1'-0"

**TRUSS LOAD NOTES**

NOTED TO BE APPLIED PER WIND DIRECTION AND EXPOSED FACE UNLESS NOTED OTHERWISE.

**1. RISE AND FALLS:**  
 ALL: 1/2"  
 CHANGE FROM 1/2" TO 1/4"  
 SLOPE: 1:1  
 MAX. SPAN: 12'-0"  
 MAX. RISE: 1'-0"  
 MAX. WIND EXPOSURE: 15'-0"  
 ALL: 1/2", 1/4", 1/8", 1/16", 1/32", 1/64"  
 1/2" DIA. 1/4"

**2. NORMAL WIND AND SEVERE WIND PRESSURE (USE BASED ON EXPOSURE AND OVERLAP AND OVERLAP):**

WIND ① = +10.0 PSF  
 WIND ② = +10.0 PSF  
 WIND ③ = +10.0 PSF  
 WIND ④ = +10.0 PSF  
 WIND ⑤ = +10.0 PSF

**3. NORMAL WIND AND SEVERE WIND PRESSURE (USE BASED ON EXPOSURE AND OVERLAP AND OVERLAP):**

WIND ① = +10.0 PSF  
 WIND ② = +10.0 PSF  
 WIND ③ = +10.0 PSF  
 WIND ④ = +10.0 PSF  
 WIND ⑤ = +10.0 PSF

**4. DEAD LOADS:**

ROOF LOAD: 10.0 PSF  
 LIVE LOAD: 20.0 PSF  
 TOTAL LOAD: 30.0 PSF

Project Title:

**Mr. & Mrs. Sehgal's  
Residence**

**Addition & Alteration**

10710 SW 112th Avenue  
Coral Gables, FL 33104

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| 9        | 11/11/06 | PGS |
| 10       | 11/11/06 | PGS |

Scale Title:

ROOF WIND

Project No:

20206

Date:

11/11/06

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PGS

Sheet No:

**S-1.02**

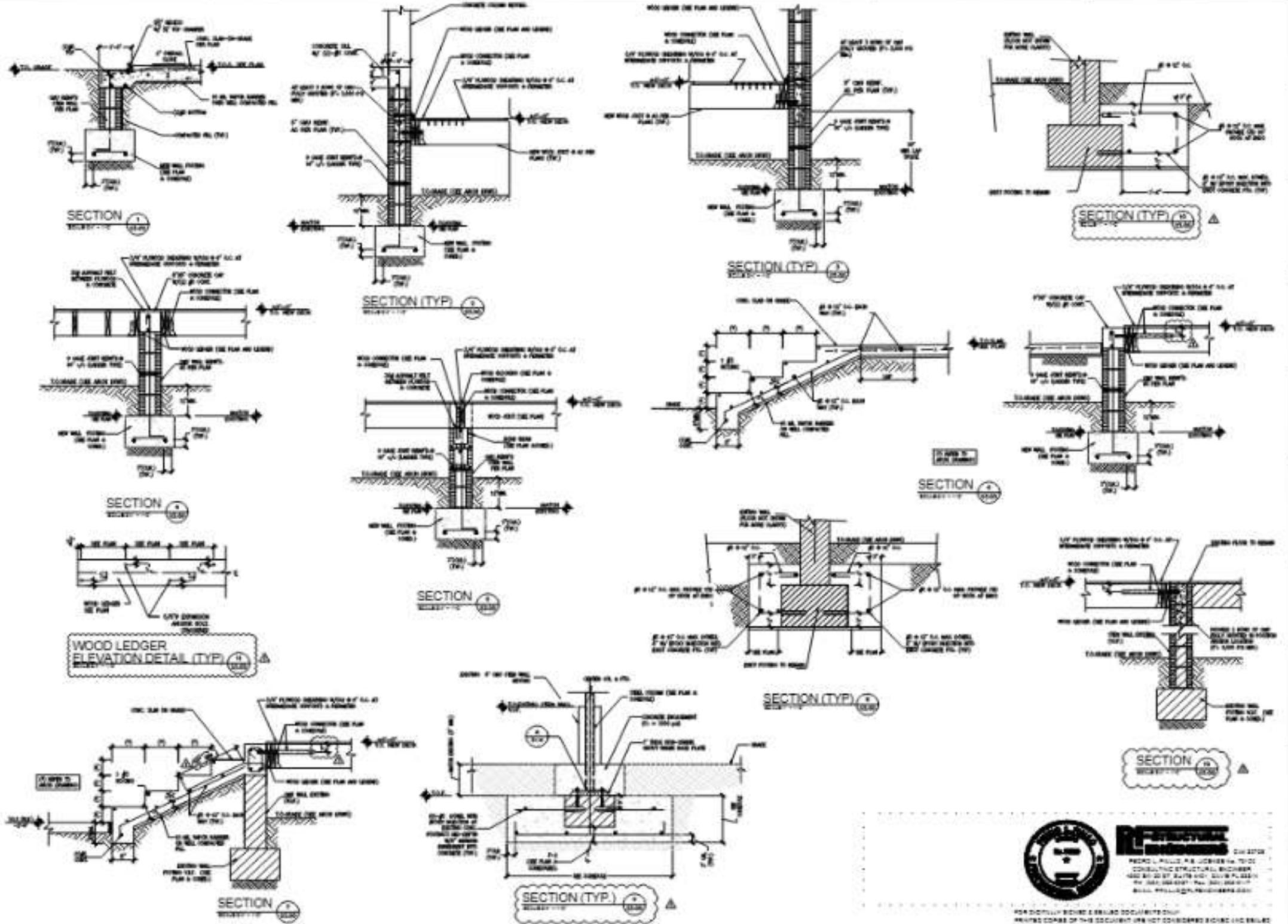


**PERMIT**  
 PEDRO L. PALLAS, P.E. LICENSE NO. 12487  
 CONSULTING STRUCTURAL ENGINEER  
 1402 SW 20th Street, Suite 1000  
 Ft. Lauderdale, FL 33304  
 Tel: 305-555-0001 Fax: 305-555-0002  
 E-mail: [pedro@pallas.com](mailto:pedro@pallas.com)





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1. Title Sheet  
2. General Notes  
3. Foundation  
4. Floor Slab  
5. Wall  
6. Window  
7. Door  
8. Staircase  
9. Roof  
10. Mechanical  
11. Electrical  
12. Plumbing  
13. Fire Protection  
14. Energy Conservation  
15. Other



Project Title

**Mr & Mrs. Sehgal's Residence**

**Addition & Alteration**

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Scale 1/4"

SECTION

Project No

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S-3.00

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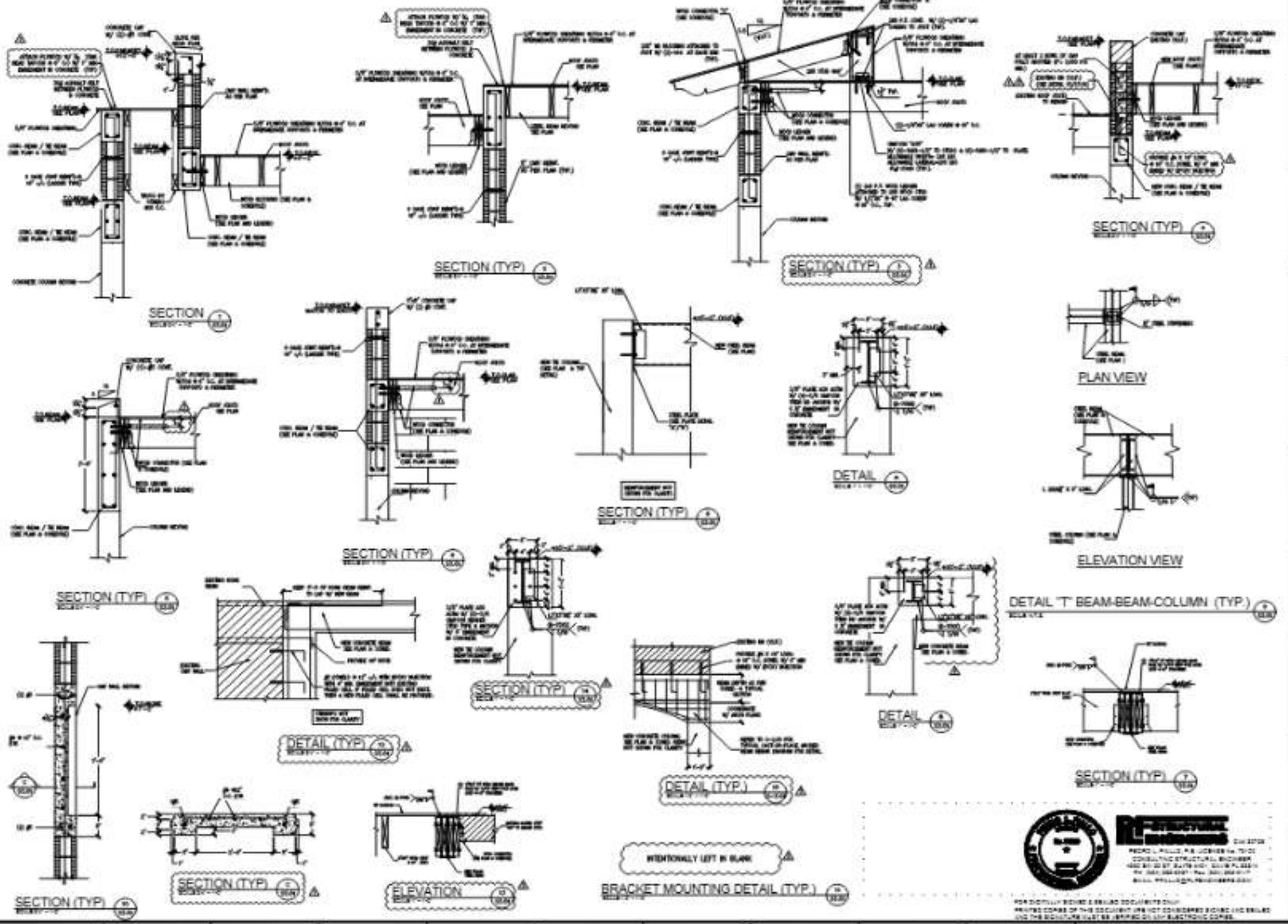


**PGS ARCHITECTS**  
PEDRO G. SUAREZ, P.E. LICENSE NO. 12715  
CONSULTING STRUCTURAL ENGINEER  
4620 SW 20th Street, Suite 100  
Miami, FL 33155  
Tel: 305-642-0712 Fax: 305-642-0717  
E-Mail: PGs@pgsarchitects.com

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Notes:  
1. All dimensions are in feet and inches unless otherwise noted.  
2. All materials and workmanship shall conform to the latest editions of the Building Code of Florida and the International Building Code.  
3. All materials shall be of the highest quality and shall be approved by the local building department.  
4. All work shall be done in accordance with the approved plans and specifications.  
5. The contractor shall be responsible for obtaining all necessary permits and approvals.



Project Title:  
**Mr & Mrs. Sehgal's Residence**

**Addition & Alteration**

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1400 SW 20th Street, Suite 1000  
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Tel: (305) 642-0712 Fax: (305) 642-0713  
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Pedro G. Suarez, AIA

Address: 1136 9th Ave  
Miami, FL 33139-4029  
Telephone: (305) 440-2713  
Email: [Pedro@pgsarchitect.com](mailto:Pedro@pgsarchitect.com)

Cell: 954-777-1118 • Fax: 305-440-2713

Signed By:



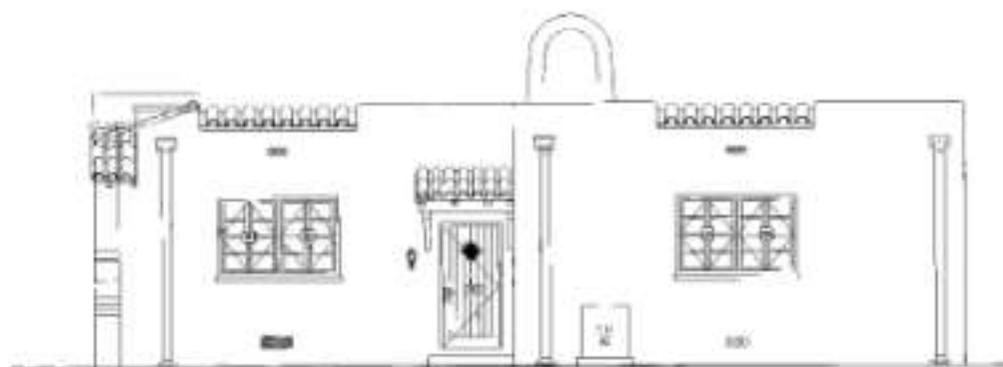
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State of Florida  
Expiration Date: 12/31/2024

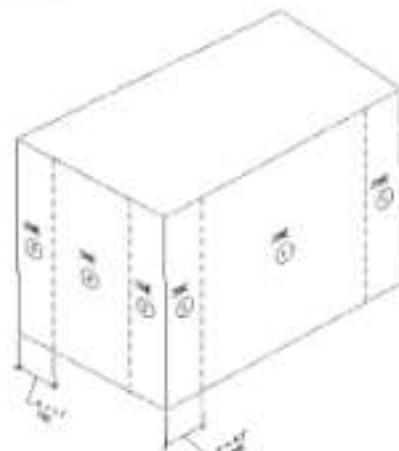


NORTH ELEVATION

**LEGEND:**  
① 1/2" = 1'-0"



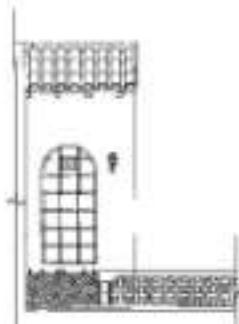
EAST ELEVATION



WIND LOAD DIAGRAM  
W.L.C.



PARTIAL EAST ELEVATION



PARTIAL NORTH ELEVATION

**NOMINAL WIND PRESSURES (ASD)**

| Wind Dir. | Exposure | WINDOW PRESSURES |         | DOOR PRESSURES |         |
|-----------|----------|------------------|---------|----------------|---------|
|           |          | WINDWARD         | LEEWARD | WINDWARD       | LEEWARD |
| 1 - 90°   | 1        | 1.57             | 0.57    | 1.57           | 0.57    |
| 1 - 45°   | 1        | 1.57             | 0.57    | 1.57           | 0.57    |

- NOTES:**
1. ALL PRESSURES ARE BASED ON 100 MPH WIND SPEED AS PER ASCE 7-10 (100 MPH WIND SPEED AS PER ASCE 7-10).
  2. ALL PRESSURES ARE BASED ON 100 MPH WIND SPEED AS PER ASCE 7-10 (100 MPH WIND SPEED AS PER ASCE 7-10).
  3. WINDWARD AND LEEWARD PRESSURES ARE BASED ON 100 MPH WIND SPEED AS PER ASCE 7-10 (100 MPH WIND SPEED AS PER ASCE 7-10).
  4. ALL PRESSURES ARE BASED ON 100 MPH WIND SPEED AS PER ASCE 7-10 (100 MPH WIND SPEED AS PER ASCE 7-10).
  5. OPERABLE WALLS, GLAZING, ALL GLAZING AND CURTAIN WALLS WITH MOVING PARTS SHALL BE DESIGNED TO RESIST THE PRESSURES SHOWN ON THIS TABLE IN THE WINDWARD DIRECTION.



**RF STRUCTURAL ENGINEERS**  
Pedro G. Suarez, P.E. License No. 12345  
1136 9th Ave, Miami, FL 33139  
Tel: (305) 440-2713  
Email: [Pedro@pgsarchitect.com](mailto:Pedro@pgsarchitect.com)

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Project Title:

**Mr & Mrs. Schgal's Residence**

Addition & Alteration

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|      |             |     |      |
|      |             |     |      |
|      |             |     |      |
|      |             |     |      |

Sheet Title:

WINDOWS & DOORS WIND PRESSURES

Project No. 20206

Sheet No.

**S-5.00**

Date: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Approved: \_\_\_\_\_

Scale: \_\_\_\_\_

