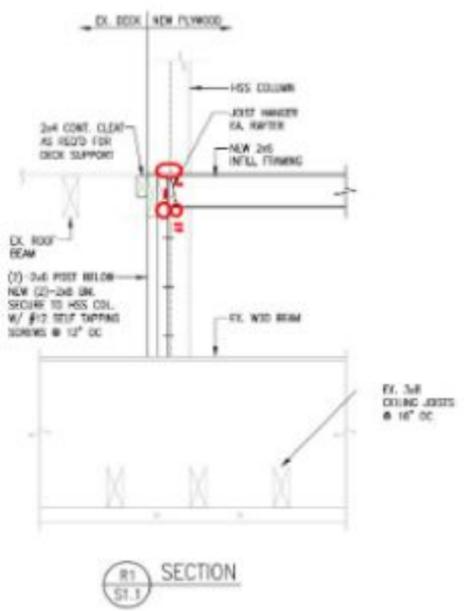


PARTIAL PLAN - NEW ROOF FRAMING BELOW DUNNAGE FRAMES
SCALE: 1/2"=1'-0" (DO NOT SCALE PLAN)

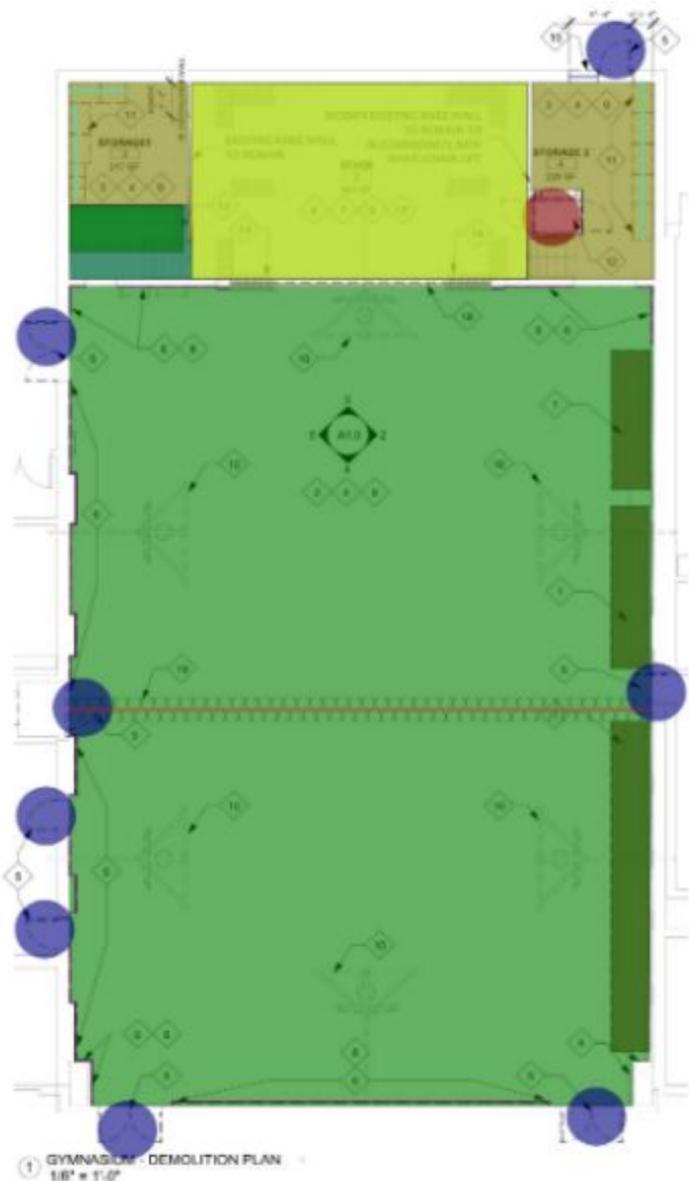


TYP. ROOF DUNNAGE MODIFICATION PLAN
SCALE: 1/2"=1'-0" (DO NOT SCALE PLAN)

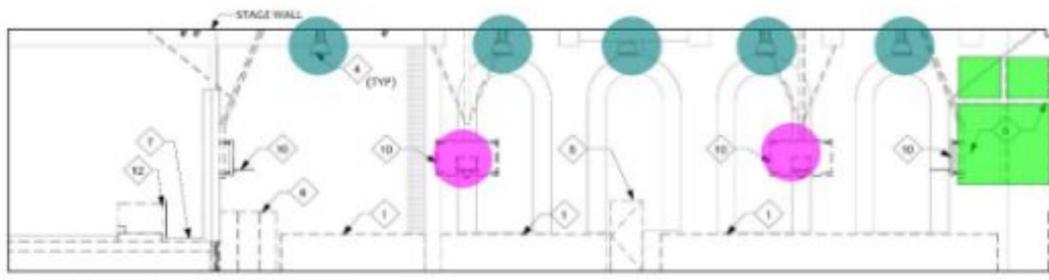


	Roof Rafters	28.8 SQ FT
	2x6 Roof Rafters @...	56.8 FT
	W8X18 Steel Beam	4.6 FT
	2X4 Continuous Cleat	8.4 FT

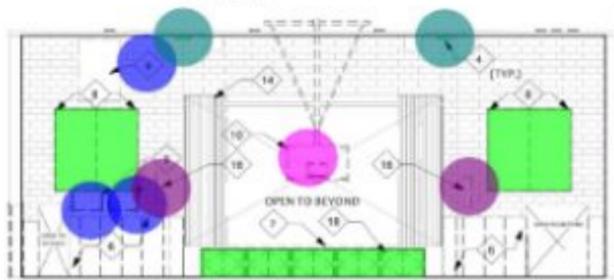
No.	DATE	COMMENTS
	10/23/24	ISSUE FOR BID
DATE:	10/23/24	SOLUTION No.
SCALE:		23-183
DRAWN BY:	MTP	DRAWING No.
CHECKED BY:	SWM	S1.1



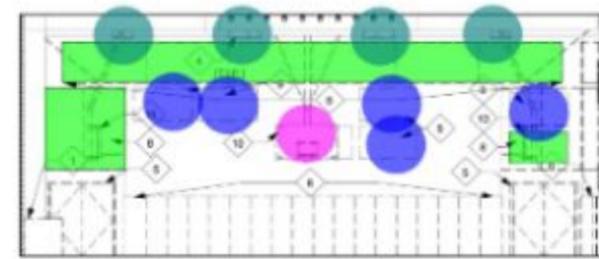
1 GYMNASIUM - DEMOLITION PLAN
1/8" = 1'-0"



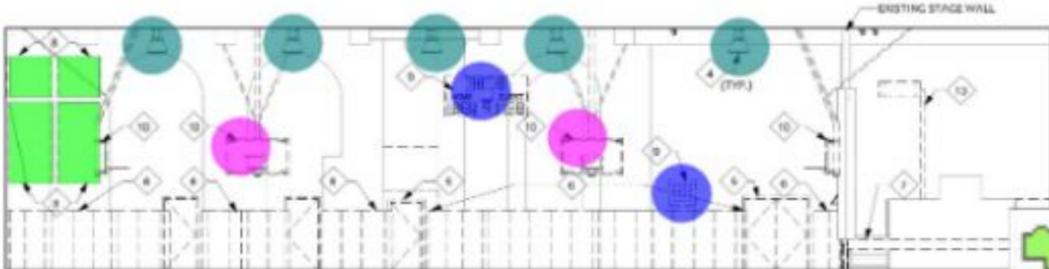
2 GYMNASIUM EAST ELEVATION - DEMOLITION
1/8" = 1'-0"



3 GYMNASIUM NORTH ELEVATION - DEMOLITION
1/8" = 1'-0"



4 GYMNASIUM SOUTH ELEVATION - DEMOLITION
1/8" = 1'-0"



5 GYMNASIUM WEST ELEVATION - DEMOLITION
1/8" = 1'-0"

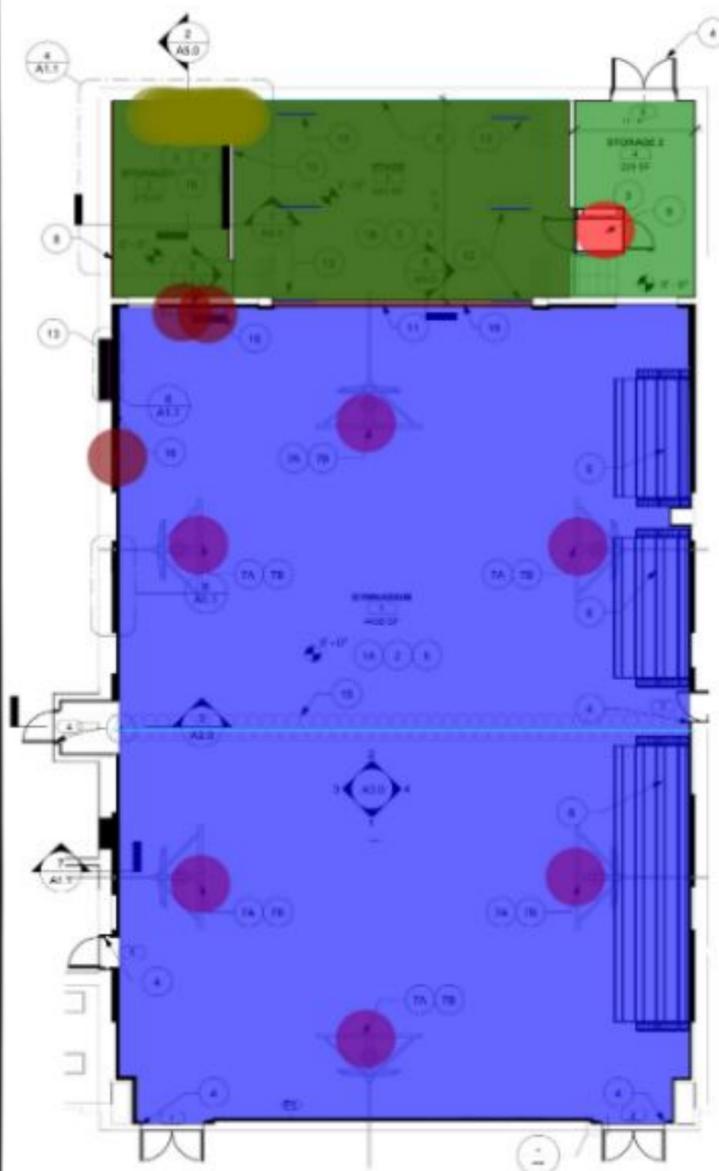
SCOPE OF WORK DEMOLITION NOTES

- 1. EXISTING CHAIR FLOORING TO BE REMOVED.
- 2. EXISTING VET FLOORING TO BE REMOVED.
- 3. REMOVE ALL EXISTING LIGHTING INCLUDING THEATRICAL LIGHTING, REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION.
- 4. REMOVE AND REPLACE EXISTING DOOR, AND HARDWARE. REFER TO NEW CONSTRUCTION AND DOOR SCHEDULE FOR MORE INFORMATION.
- 5. REMOVE EXISTING WALL MOUNTED ITEMS TO REMAIN.
- 6. ALTERNATE BID: EXISTING STAGE, INCLUDES OF TILE FLOORING UNDER THE STAGE, STAIRS, AND STRUCTURE TO BE REMOVED.
- 7. REMOVE ALL WALL MOUNTED AND HUNG ITEMS.
- 8. CARRY OUT TO REMOVE ALL WALL MOUNTED ITEMS AND HUNG OVER TO EXIST FOR EXAMPLE SCOREBOARD, FLAG, SPORTS BANNER, PULL UP BARS, SQUARE AND BOARD CEILING REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION ON ELECTRICAL EMERGENCY LIGHTING SYSTEM.
- 9. ALTERNATE BID: REMOVE THE BASKETBALL HOOP'S EQUIPMENT IN ITS ENTIRETY INCLUDING MOTOR AND STRUCTURE.
- 10. REMOVE WALL MOUNTED CROWDWARE.
- 11. REMOVE EXISTING WHEEL CHAIR LIFT, REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION.
- 12. EXISTING STRUCTURE TO BE REMOVED, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 13. REMOVE EXISTING STAGE CURTAIN FABRIC ONLY AND HANG OVER TO DECK FOR REUSE.
- 14. CREATE OPENINGS IN EXISTING MASSIVE WALL FOR NEW DOUBLE DOOR.
- 15. REMOVE EXISTING RECESSED SPEAKERS.
- 16. REMOVE ANY EXISTING MISCELLANEOUS CEILING ITEMS THAT ARE HANGING FROM THE CEILING.
- 17. REMOVE EXISTING FINISH PANELING, TRIM AND DOORS FROM STAGE AREA.
- 18. TEMPORARILY REMOVE AND RETAIN ROOM DIVIDER CURTAIN FOR REINSTALLATION.

GENERAL DEMOLITION NOTES

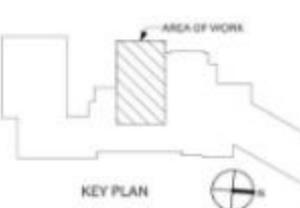
- 1. CONTRACTOR SHALL NOT CONSIDER THESE DEMOLITION AND ALTERATION NOTES TO BE ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH SPACE AND TO FULFILL THE INTENT OF THE WORK INDICATED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITHIN THE CONTRACT LIMITS AND BRING ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS, NECESSITATED BY FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- 2. WHERE EXISTING CONSTRUCTION (WALLS, FLOORING, CEILING, ETC.) IS TO REMAIN AND BE ALTERED, FINISHES TO MATCH EXISTING. ALL EXISTING STAIRED WOOD DECK TO BE SANDED AND REFINISHED, COORDINATE WITH ARCHITECT.
- 3. REMOVE PROJECTIONS, HANGERS, BOLTS, SCREWS, NAILS, HOOKS, LEDGERS, PLUMBING, BLOCKING FROM ALL EXISTING SURFACES. FILL GAPS AND PREPARE SURFACES TO RECEIVE WORK AND FINISHES.
- 4. PROTECT, PATCH AND REPAIR ALL ADJACENT SURFACES WHICH ARE AFFECTED BY THE DEMOLITION, THE WORK, OR THE MOVING OF ACCESSORIES TO THEIR ORIGINAL FORM AND FINISH UNLESS OTHERWISE NOTED.
- 5. REMOVE ALL EXISTING WALL MOUNTED ITEMS EITHER AS REQUIRED FOR REPAIR AND/OR PAINTING OF ADJACENT WALL SURFACES, OR AS DESIGNATED BY OWNER TO BE REMOVED AND DISPOSED OF. THESE SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL EXISTING ELECTRICAL DEVICES SUCH AS SWITCHES, RECEPTACLES, TERMINALS, CONDUITS, ETC., AS WELL AS INTERCOM, DISPLAYS, PLANKS, GLASS, SOUND SPEAKERS, AEROSOL/HAZARD EQUIPMENT, DISPLAYS, MISCELLANEOUS SIGNAGE, MARKER BOARDS, TACK BOARD, ETC. PATCH AND REPAIR ALL DAMAGED WALL, FLOOR AND CEILING SURFACES.
- 6. REMOVE AND REINSTALL ALL EXISTING WALL MOUNTED ITEMS TO REMAIN.
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEAN UP OF ALL CONSTRUCTION DEBRIS.
- 8. COORDINATE WITH MECHANICAL, ELECTRICAL, PLUMBING DRAWINGS FOR REQUIRED REMOVAL, REPLACEMENT AND / OR REINSTALLATION OF MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS AT NEW OPENINGS.
- 9. ANY EQUIPMENT OR LOSE ITEMS NOT NOTED TO BE RELOCATED SHALL BE DISPOSED OF. COORDINATE WITH THE OWNER.
- 10. SHUT DOWN, MAINTAIN AND PROTECT THE EXISTING FIRE ALARM SYSTEM, INCLUDING SMOKE HEADS, STROBES AND DISTRIBUTION WIRING TO BE REUSED DURING DEMOLITION. SYSTEM WILL BE MODIFIED ACCORDING TO THE NEW WORK PLAN. NOTIFY AND COORDINATE WITH THE EXISTING ALARM MONITOR THAT THE SYSTEM IS BEING MODIFIED OR SHUT DOWN.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGING AND CONCEALING ANY LOSE WIRES IN THE CEILING THAT SHALL REMAIN.

Exiting Bleacher T...	227.9 SQ FT
Exiting Gym Floor...	4470.1 SQ FT
Exiting Vinyl Com...	429.6 SQ FT
Remove Exiting Door	8.0 EA
Remove 5'-10" High ...	134.7 FT
Exiting Stage, Floor...	707.5 SQ FT
Wall Mounted Aco...	601.6 SQ FT
Remove Wall Moun...	10.0 EA
Remove Basketball Ho...	6.0 EA
Remove Wall Mounted...	30.5 FT
Remove Exiting Wheel...	1.0 EA
Removed Exiting St...	48.5 SQ FT
Exiting Stage Curtain ...	25.0 FT
Remove 7'-0" High Exiti...	2.7 FT
Remove Exiting Reces...	2.0 EA
Remove Exiting Lighte...	16.0 EA
Remove Room Divider...	55.6 FT
Remove Exiting Fin...	59.2 SQ FT
Remove Exiting Mi...	621.6 SQ FT



- NEW SCOPE OF WORK NOTES**
- GC TO MEASURE THE FLOORING FROM PREVIOUS FINISH FLOOR HEIGHT TO MATCH THE EXISTING FLOOR JAMBS, AND INSTALL APPROXIMATELY 1/4" OF CEMENTIOUS LEVELING COMPOUND AS REQUIRED TO MATCH THE NEW MULTIPURPOSE FLOORING FLUSH WITH THE PREVIOUS FLOOR ELEVATION. REFER TO THE FINISH PLAN FOR ADDITIONAL INFORMATION.
 - 1A SAND, STAIN, AND PROVIDE PROTECTIVE CLEAR COAT TO EXISTING STAGE FLOORING, INCLUDING STAIR STEPS.
 - 2 LAMINATE EXISTING PLASTER CEILING WITH 1/2" GYP BOARD WITH MECHANICAL FASTENERS. ALL SCREWS MUST BE INSTALLED DIRECTLY INTO EXISTING WOOD BEAMS ABOVE THE EXISTING PLASTER ON METAL LATH.
 - 3 PATCH, PREPARE, PRIME AND PAINT HARD CEILINGS, WALLS, BRACES, SOFFITS, AND STRUCTURAL SUPPORTS. REFER TO FINISH PLAN AND ELEVATIONS FOR MORE INFORMATION.
 - 4 PROVIDE NEW DOOR, FRAME, AND HARDWARE AS SCHEDULED. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
 - 5 INSTALL NEW WALL PADS. REFER TO ELEVATIONS FOR ADDITIONAL INFORMATION.
 - 6 NEW BLEACHERS TO BE INSTALLED BY SEPARATE VENDOR. GC TO PATCH, LEVEL, AND PREPARE FLOOR AND WALLS PRIOR TO INSTALLATION.
 - 7A G.C. TO COORDINATE POWER REQUIREMENTS WITH VENDOR. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION. GC TO SCRAPE, SAND, AND PAINT EXISTING BASKETBALL HOOP STRUCTURE.
 - 7B **ALTERNATE BIDD:** NEW BASKETBALL BACKBOARDS TO BE PROVIDED AND INSTALLED BY GC.
 - 8 EXISTING BRICK WALL TO BE SCRAPED, CLEANED AND PREPARED FOR NEW PAINT AS SCHEDULED. ANY VOIDS IN THE BRICK WALL SHALL BE BLOCK FILLED.
 - 9 PROVIDE AND INSTALL NEW CHAIR LIFT FOR THE STAGE. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 10 NEW MEZZANINE, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 11 **ALTERNATE BIDD:** INSTALL NEW STAGE INCLUDING OF STRUCTURE, STAIRS, FINISH FLOOR, AND FRONT APRON. REFER TO STRUCTURAL DRAWINGS, FINISH PLAN, AND ELEVATIONS FOR ADDITIONAL INFORMATION.
 - 12 REINSTALL STAGE CURTAINS ON EXISTING STRUCTURE.
 - 13 REWALL MASONRY TO MATCH EXISTING.
 - 14 SCORBOARD TO BE PROVIDED BY SEPARATE VENDOR AND INSTALLED BY GC. GC TO PROVIDE BLOCKING AND ELECTRICAL AS REQ'D. REFER TO ELEVATIONS FOR ADDITIONAL INFORMATION.
 - 15 REINSTALL ROOM DIVIDER CURTAIN AND PROVIDE PERMANENT POWER. REFER TO ELECTRICAL DRAWINGS FOR MORE INFO.
 - 16 REINSTALL PULL UP BAR. GC TO SAND, PRIME, AND PAINT EXISTING PULL UP BAR PRIOR TO REINSTALLATION.
 - 17 REINSTALL SQUARE PIG BOARD CLUMBER. GC TO SAND, STAIN, AND CLEAR COAT EXISTING SQUARE PIG BOARD CLUMBER PRIOR TO REINSTALLATION.
 - 18 INSTALL NEW FINISH PANELING, MOVABLE PANELS/DOORS AND REQUIRED HARDWARE.

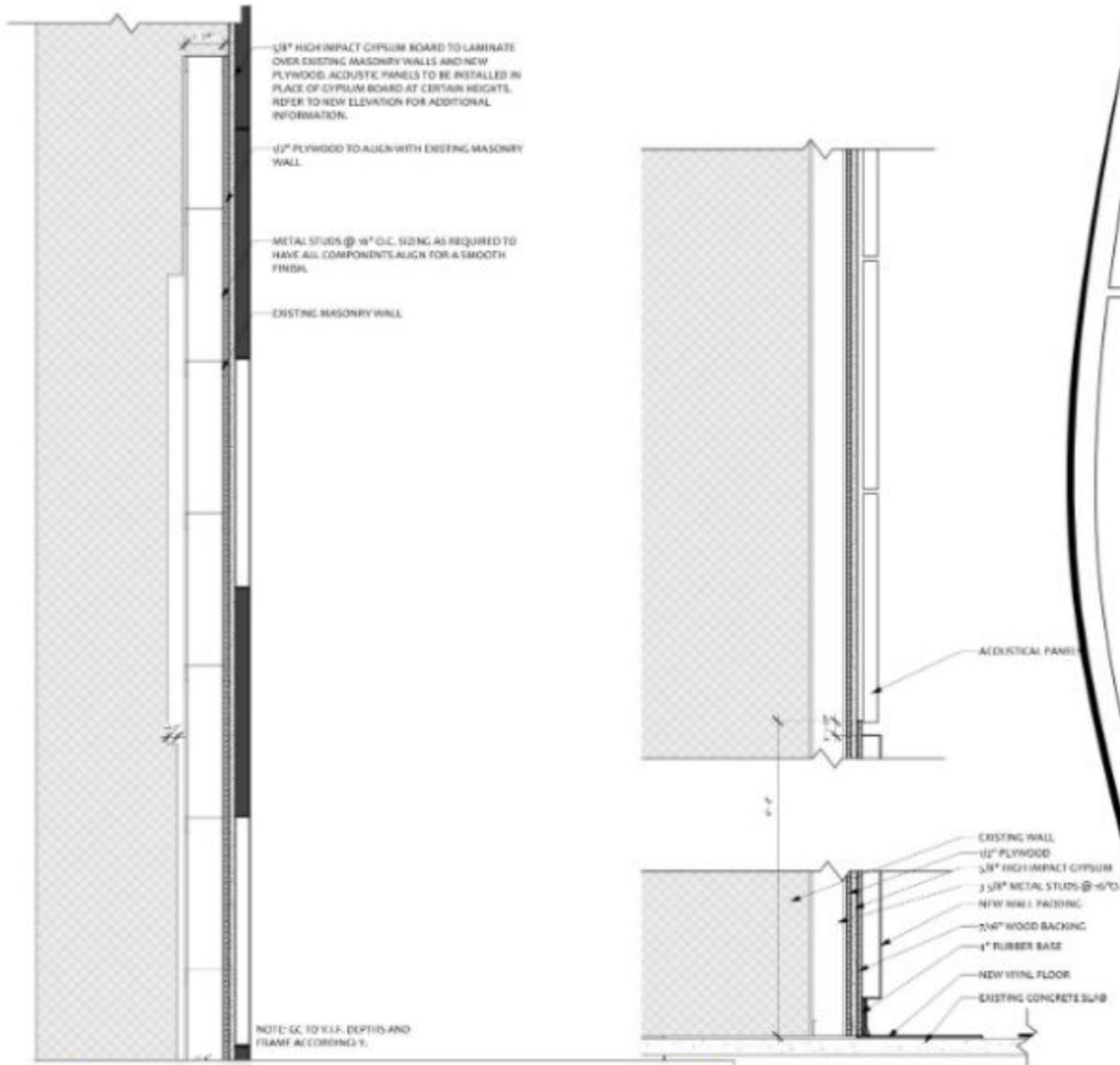
1 GYMNASIUM - NEW WORK PLAN
1/8" = 1'-0"



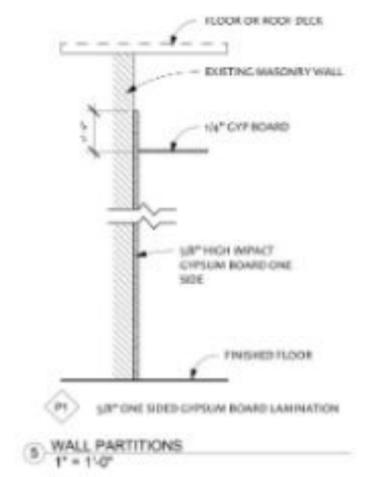
4 GYMNASIUM - MEZZANINE PLAN
1/4" = 1'-0"

CONSTRUCTION GENERAL NOTES:

1. CONTRACTOR SHALL NOT CONSIDER THESE DEMOLITION AND ALTERATION NOTES TO BE AN INSURANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH SPACE AND TO FULFILL THE INTENT OF THE WORK INDICATED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITHIN THE CONTRACT LIMITS AND BRING ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS, NECESSARY BY FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
2. WHERE FINISHING CONSTRUCTION (WALLS, DOORS, CEILING, ETC.) IS TO REMAIN AND IS ALTERED, PROVIDE FINISHES TO MATCH EXISTING. ALL EXISTING STAINED WOOD TRIM TO BE REMOVED AND REPLACED TO MATCH EXISTING EXCEPT WHERE NOTED ON THE DOOR SCHEDULE. COORDINATE WITH ARCHITECT.
3. REMOVE PROJECTIONS, HANGERS, RED TAGS, SOFFITS, NAILS, HOOKS, JOINTS, PURGING, BLOCKING FROM ALL EXISTING SURFACES. FILL GAPS AND PREPARE SURFACES TO RECEIVE WORK AND FINISHES.
4. PROTECT, PATCH AND REPAIR ALL ADJACENT SURFACES WHICH ARE AFFECTED BY THE DEMOLITION, THE WORK, OR REMOVAL OF ACCESSORIES TO THEIR ORIGINAL FORM AND FINISH (UNLESS OTHERWISE NOTED).
5. CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEAN UP OF ALL CONSTRUCTION DEBRIS.
6. CONTRACTOR SHALL REMOVE EXISTING DOOR, FRAME, TRANSOM, AND HARDWARE IN ITS ENTIRETY WHERE NEW DOORS ARE SCHEDULED FOR INSTALLATION.
7. PROVIDE NEW FIRE RATED WOOD DOOR, TRANSOMS AND HOLLOW METAL FRAMES AS SCHEDULED.
8. CONTRACTOR SHALL PATCH AND REPAIR ALL ADJACENT FINISHES TO MATCH EXISTING, INCLUDING WALL, CEILING AND FLOOR FINISHES.
9. ALL DIMENSIONS, DOOR PANEL PROFILE AND TRIM PROFILE SHALL BE VERIFIED BY CONTRACTOR PRIOR TO FABRICATION.
10. CONTRACTOR SHALL PROTECT EXISTING FLOOR DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY REPAIR ASSOCIATED WITH DAMAGE DURING THE CONSTRUCTION.



1/4" Of Cementio...	4358.0 SQ FT
Sand, Stain & Prov...	859.5 SQ FT
Patch & Prepare ...	1047.9 SQ FT
2-0" Wide Bleacher(...	209.6 FT
72"x42" Basketball Ba...	6.0 EA
23'-9" High Brick Wall ...	32.3 FT
5'-0" x 4'-6" New Chair ...	1.0 EA
Reinstall Stage Curtai...	23.5 FT
Reinstall Room Divide...	55.8 FT
Reinstall Pull Up Bars	3.0 EA
Install New Masonry ...	6.0 FT
3'-4" Wide Wooden Stair	11.0 EA
42" High Powder Coat...	54.0 FT
36" High Powder Coat...	16.3 FT



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Architect's Seal

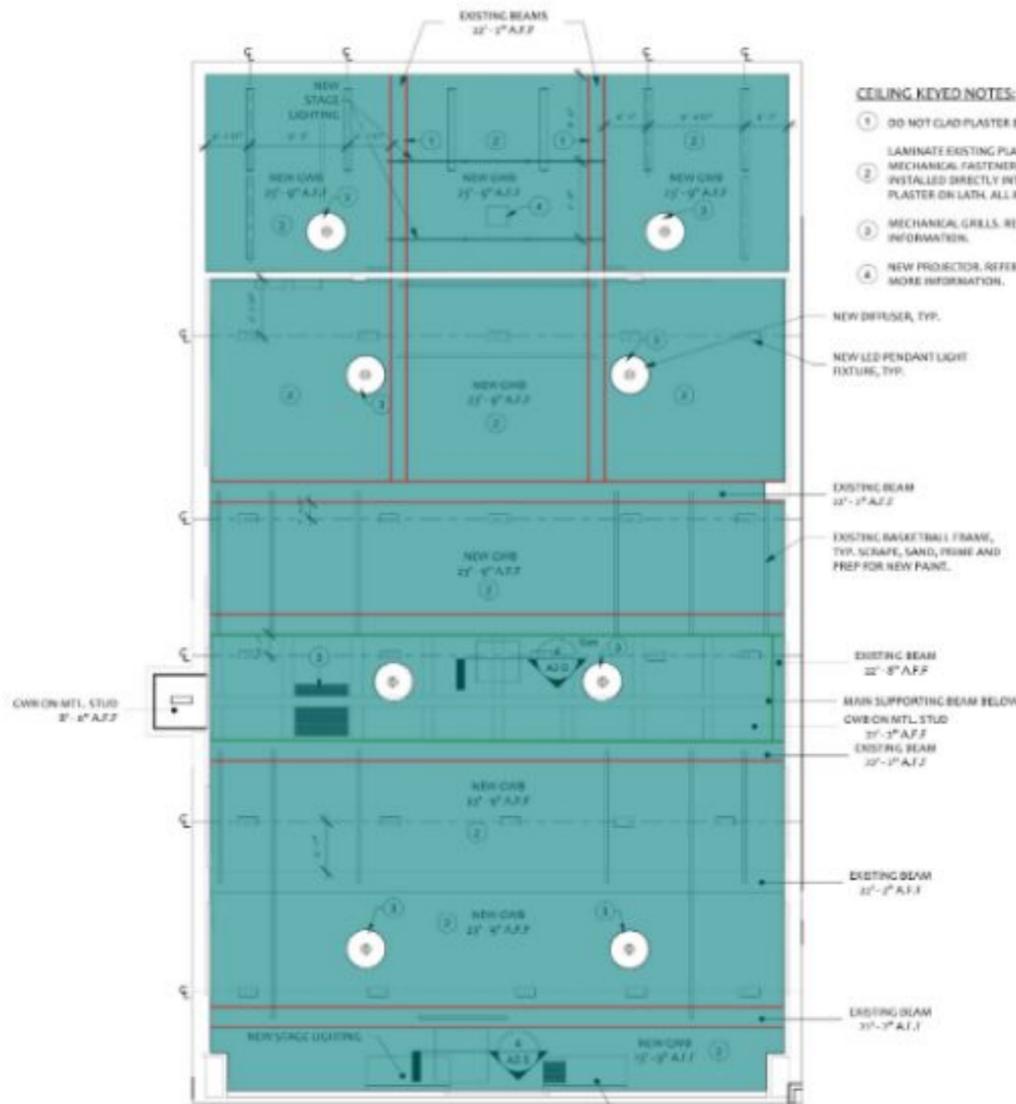
GYMNASIUM RENOVATIONS
FOR
RIVERDALE BOARD OF EDUCATION
AT
RIVERDALE PUBLIC SCHOOL

33 NEWARK HAMPDEN TURNPIKE, SUITE 200, N.J. 07077

Consulting Engineer's Seal

NEW WORK PLANS

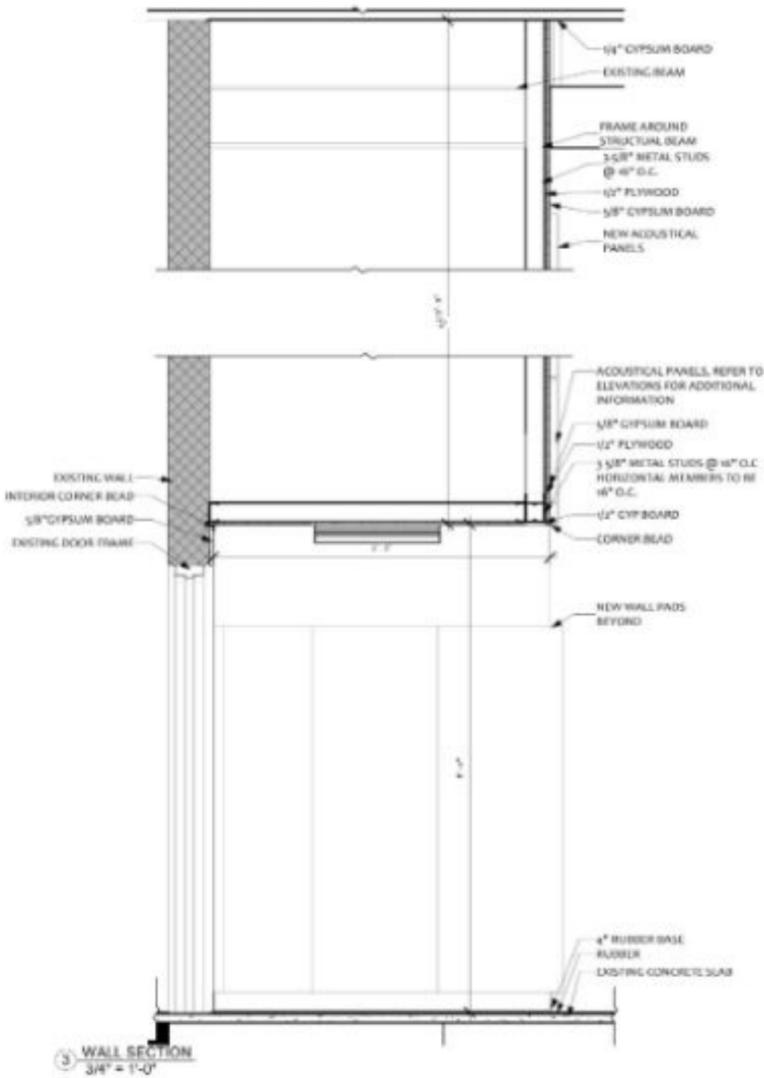
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SCALE:	As Indicated	DRAWING No.	A1.1
DRAWN BY:	JL	CHECKED BY:	SP
NO. DATE:	06/20/24	COMMENTS:	ISSUE FOR BID



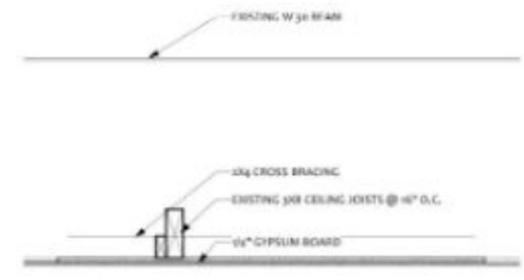
1 GYMNASIUM - REFLECTED CEILING PLAN
1/8" = 1'-0"

- CEILING KEYED NOTES:**
- DO NOT CLAD PLASTER BEAMS. ONLY PRIME, PREP, AND PAINT
 - LAMINATE EXISTING PLASTER CEILING WITH 1/2" GYPSUM WITH MECHANICAL FASTENERS INCLUDING BEAMS. ALL SCREWS MUST BE INSTALLED DIRECTLY INTO EXISTING WOOD STRUCTURE ABOVE THE PLASTER ON LATH. ALL MECHANICAL FASTENERS TO BE HIDDEN.
 - MECHANICAL GRILLS. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
 - NEW PROJECTOR, REFER TO AV AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.

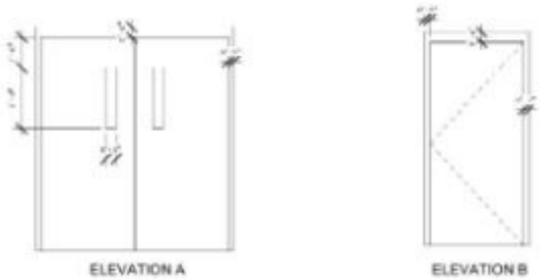
- GENERAL CEILING NOTES:**
- REFER TO ELECTRICAL DRAWINGS FOR TYPES OF FIXTURES. UTILIZE THE REFLECTED CEILING PLAN FOR LOCATION AND COORDINATION OF FIXTURES. DISCREPANCIES BETWEEN THE ELECTRICAL AND ARCHITECTURAL DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 - REFER TO ELECTRICAL DRAWINGS FOR EMERGENCY LIGHT, NIGHT LIGHT, AND EXIT SIGN LOCATIONS.
 - REFER TO MECHANICAL DRAWINGS FOR HVAC GRILLES AND DIFFUSERS. UTILIZE REFLECTED CEILING PLAN FOR LOCATION AND COORDINATION OF ITEMS.
 - PAINT ALL STRUCTURE, STEEL DECK, DUCTWORK, PIPING, ETC. COLORS TO BE SELECTED BY THE ARCHITECT.
 - CONTRACTOR SHALL CATALOGUE EXISTING WIRING AND CABLES ABOVE CEILING. ABANDONED CABLES MUST BE REMOVED IN THEIR ENTIRETY. EXISTING CABLES AND WIRING SHALL BE REPLACED AND SECURED TO DECK IN ACCORDANCE WITH REQUIREMENTS (SEE ELECTRICAL DWG). PROVIDE WIRE TRAYS AND WALL EDGES AS NECESSARY TO SUPPORT AND SECURE WIRING.
 - ALL CIV. CLG TO BE PRIMED, PREPARED AND PAINTED WITH PS-3, UNLESS NOTED OTHERWISE.



3 WALL SECTION
3/4" = 1'-0"



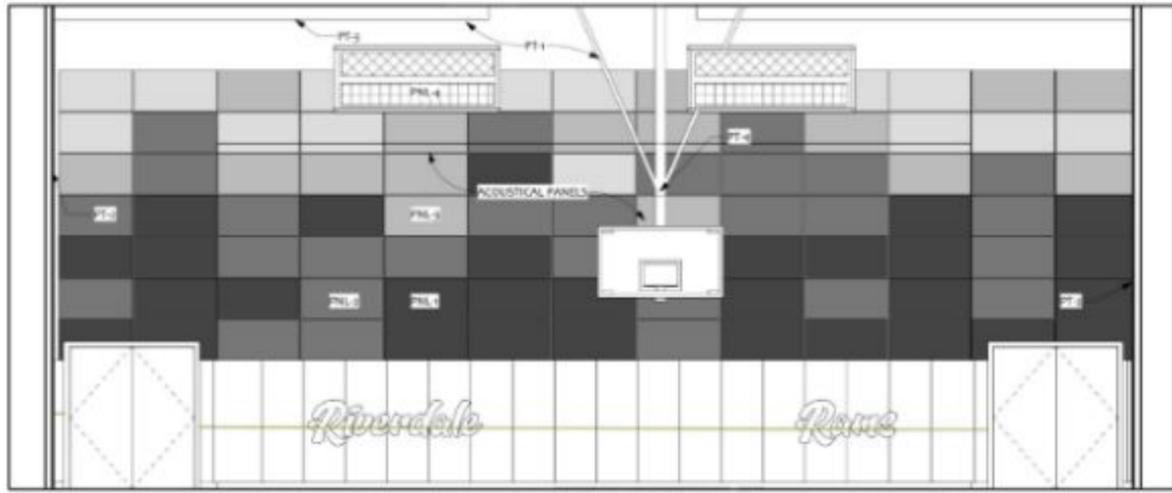
4 TYPICAL CEILING INFILL DETAIL
1" = 1'-0"



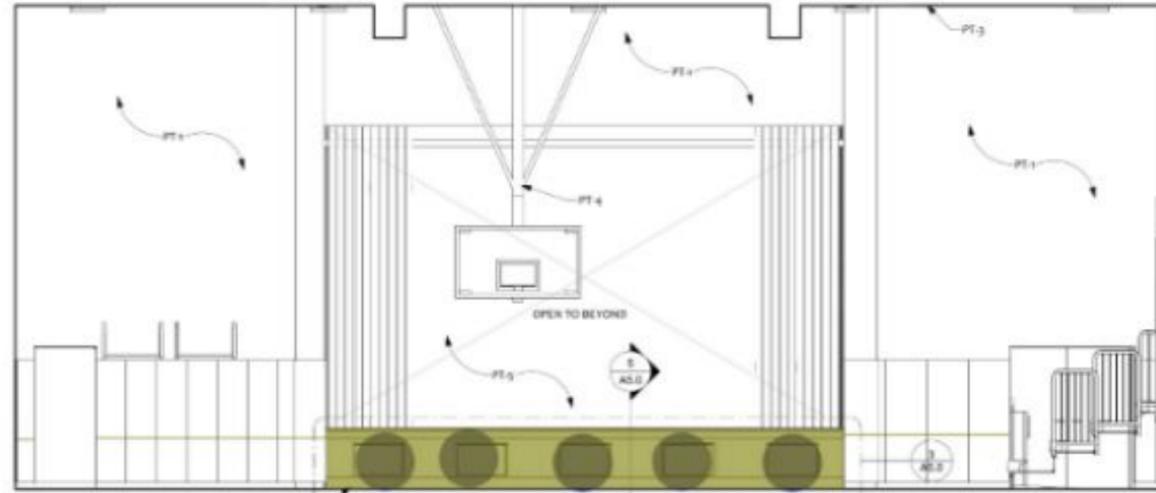
- ABBREVIATIONS:**
- PT PAINT
 - ST STAIN
 - HM HOLLOW METAL
 - SWC SOLID WOOD CORE
 - ETB EXISTING TO REMAIN
 - ALUM ALUMINUM
 - GL GLAZING
 - F.T FIRE TREATED
 - FRP FIBERGLASS REINFORCED PANEL ON ALUMINUM CORE
 - CR CARD READER
- **NOTE: ALL HARDWARE TO BE ADA COMPLIANT AND MEET THE MOST CURRENT SECURITY REQUIREMENTS, COORDINATE ALL DOOR HARDWARE WITH OWNER TO MATCH BUILDING STANDARD.**
- TYPICAL DOOR NOTES:**
- REFER TO SPECIFICATIONS FOR HARDWARE SET
 - HM FRAMES TO BE PAINTED. COLOR TO BE TBD
 - CONTRACTOR TO PROVIDING KEYING TO MATCH EXISTING BUILDING STANDARD
 - DOORS TO HAVE A FLOOR CLEARANCE OF 1/4" MAX AND UNDERCUT OF 1/8" MAX
 - ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.
 - REFER TO PROJECT MANUAL FOR GLAZING SCHEDULE.
- **NOTE: ALL HARDWARE TO BE ADA COMPLIANT, COORDINATE ALL DOOR HARDWARE WITH OWNER TO MATCH BUILDING STANDARD.**

DOOR SCHEDULE								
DOOR NO.	ROOM	DOOR TYPE	FRAME TYPE	WIDTH	HEIGHT	DOOR ELEVATION	FIRE RATING	COMMENTS
1	CORRIDOR	SWC/GL	HM	6'-0"	7'-0"	A	20 MIN	
2	CORRIDOR	SWC/GL	HM	6'-0"	7'-0"	A	20 MIN	
3	BOYS LOCKER ROOM	SWC	HM	3'-0"	7'-0"	B		
4	GIRLS LOCKER ROOM	SWC	HM	3'-0"	7'-0"	B		
5	GYMNASIUM	SWC	HM	3'-0"	6'-8"	B		
6	STORAGE 2	FRP/GL	AL	6'-0"	7'-0"	A		CARD READER

	Gypsum Board ...	5369.9 SQ FT
	1'-7" Wide Ceiling ...	487.3 FT
	1'-0" Wide Ceiling ...	110.0 FT
	1'-6" Wide Ceiling S...	10.5 FT



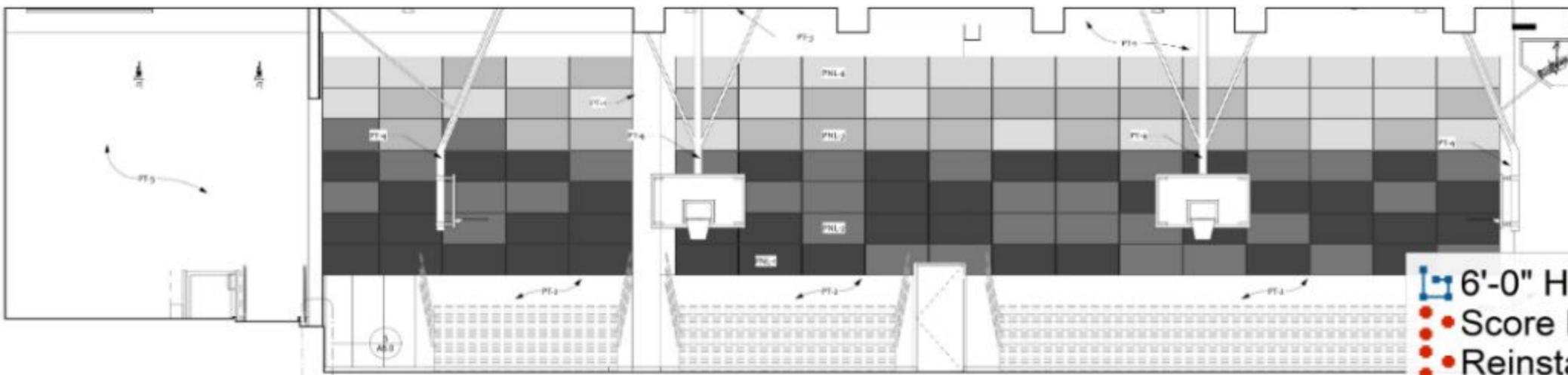
1 GYMNASIUM SOUTH ELEVATION
1/4" = 1'-0"



2 GYMNASIUM NORTH ELEVATION
1/4" = 1'-0"



3 GYMNASIUM WEST ELEVATION
1/4" = 1'-0"



4 GYMNASIUM EAST ELEVATION
1/4" = 1'-0"

WALL PANEL LEGEND:

PNL-1 (WHITE)
PNL-2 (SKY)
PNL-3 (WILLOWWOOD)
PNL-4 (COBALT)

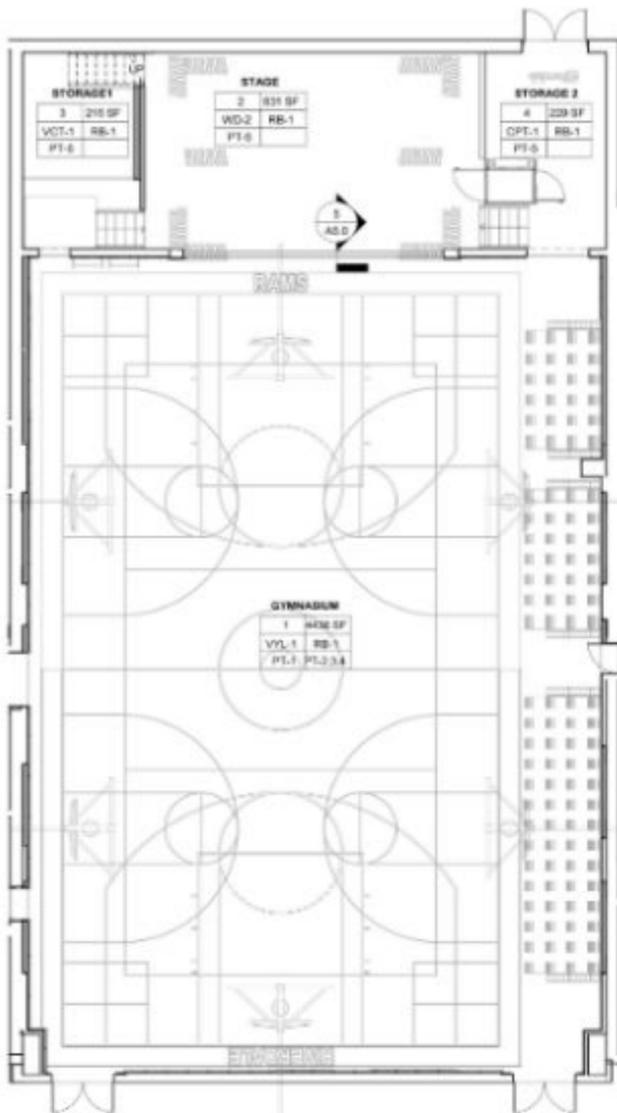
- 6'-0" High Wall Pads 129.9 FT
- Score Board Provide... 1.0 EA
- Reinstall Square Peg... 1.0 EA
- Install New 2'-6"x1'-8... 5.0 EA
- Install New Panel... 73.5 SQ FT

GYMNASIUM RENOVATIONS
FOR
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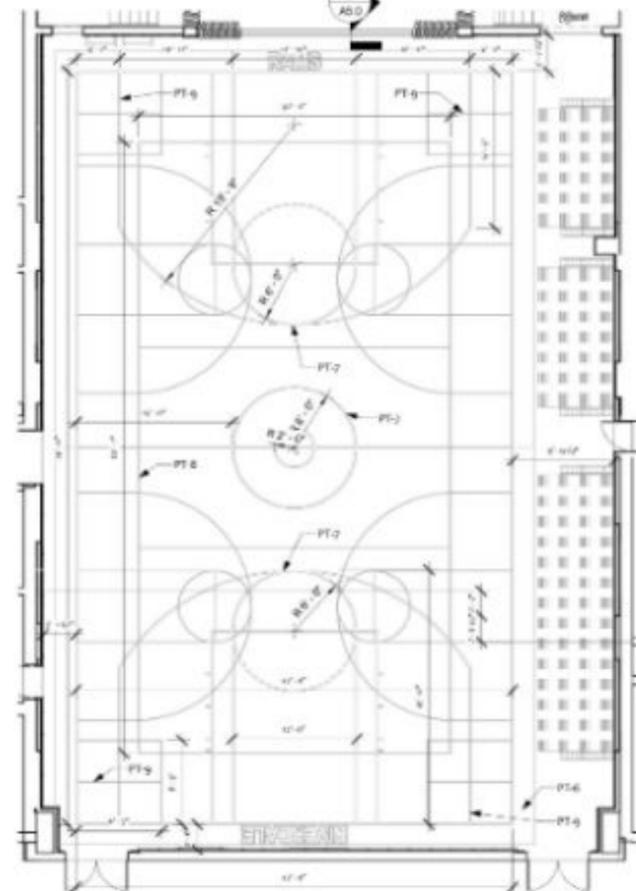
33 NEWARK POMPTON TURNPIKE, SUITE 100, NJ 07073
Consulting Engineer's Seal

INTERIOR ELEVATIONS

NO.	DATE	COMMENTS
1	3/18/24	ISSUE FOR BID
SOLUTION No. 23-183		
DRAWING No. A3.0		



ROOM SCHEDULE						
Number	Name	Floor Finish	Wall Finish	Base Finish	Perimeter	Area
1	GYMNASIUM	VYL-1	PT-1	RB-1	274' - 1 3/4"	6438 SF
2	STAGE	WB-1	PT-5	RB-1	113' - 9 1/4"	1521 SF
3	STORAGE 1	VCT-1	PT-5	RB-1	64' - 0"	275 SF
4	STORAGE 2	LPT-1	PT-5	RB-1	64' - 0"	229 SF

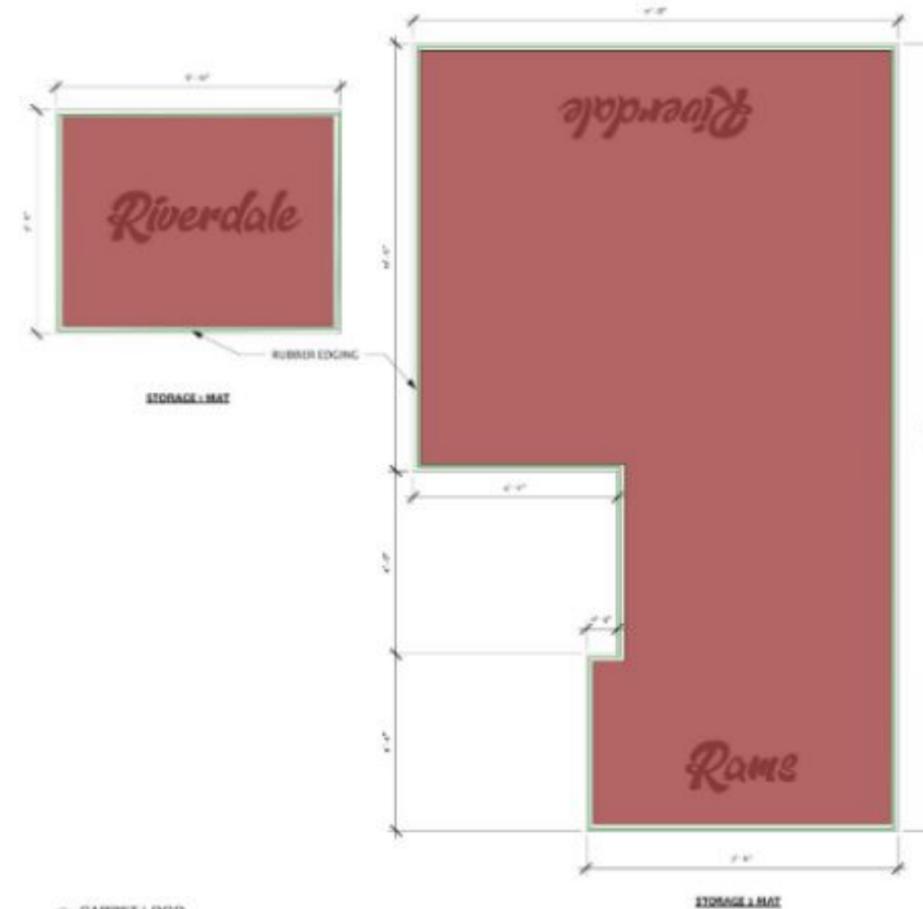


1 GYMNASIUM - FINISH PLAN
1/8" = 1'-0"

2 GYMNASIUM - LINES PLAN
1/8" = 1'-0"

FINISH SCHEDULE				
MATERIAL	MANUFACTURER	STYLE/MODEL	COLOR	COMMENTS
PT-1	DECAWAX WOOD OR APPROVED EQUAL	INTERIOR PAINT	A-1000 WHITE GC-115	WALL PAINT
PT-2	DECAWAX WOOD OR APPROVED EQUAL	INTERIOR PAINT	96 COUNTRY BLUE	ACCENT COLOR & BOOM FRAMES (GYM ONLY)
PT-3	DECAWAX WOOD OR APPROVED EQUAL	INTERIOR CEILING PAINT	STREAM WHITE GC-115	CEILING COLOR
PT-4	DECAWAX WOOD OR APPROVED EQUAL	INTERIOR WALL PAINT	FLORA 200-01	STAIR WALL, ROOF VESTIBULE COLOR
PT-5	DECAWAX WOOD OR APPROVED EQUAL	INTERIOR PAINT	BLACK 10-01	STAGE WALL & APPURTENANCE COLOR
PT-6	CANAM COATINGS	INTERIOR PAINT	CUSTOM COLOR TO IM-96 COUNTRY BLUE	WALL BASKETBALL COURT LINES
PT-7	CANAM COATINGS	INTERIOR PAINT	CUSTOM COLOR TO IM-96 COUNTRY BLUE	WALL BASKETBALL COURT LINES
PT-8	CANAM COATINGS	INTERIOR PAINT	CAN-100 WASH 1000 WASH-1000	WALL BASKETBALL COURT LINES & VESTIBULE COURT LINES
PT-9	CANAM COATINGS	INTERIOR PAINT	GRAY	4 SQUARE LINES
WB-1	T&B	WOOD FLOOR	T&B	STAGE FLOORING
VYL-1	BOSS SURFACES	FORREST 88	AMERICAN OAK 236	GYM FLOORING
OPT-1	ARMCO	GRAND BERBER	BLUE BRD	CARPET TILE
VCT-1	ARMSTRONG FLOORING	STANDARD EXCS-ON APERTAL	BLUE GRAY-1969	VINYL COMPOSITION TILE
RB-1	TARGET	T&B	BLUE JEANS	2" RUBBER COVE BASE
PNL-1	CERTAINTED	INSIGNIS FIBRICE/SLFORD-OF-WAIRE	CORAL 418	ACOUSTICAL PANEL
PNL-2	CERTAINTED	INSIGNIS FIBRICE/SLFORD-OF-WAIRE	WEDGWOOD 154	ACOUSTICAL PANEL
PNL-3	CERTAINTED	INSIGNIS FIBRICE/SLFORD-OF-WAIRE	SKY 368	ACOUSTICAL PANEL
PNL-4	CERTAINTED	INSIGNIS FIBRICE/SLFORD-OF-WAIRE	WHITE 214	ACOUSTICAL PANEL
RC-1	ARMCO PRODUCTS	GRAND BERBER	BLUE BRD/YELLOW	CUSTOM MAT WITH GRAPHICS

ABBREVIATION	PT - PAINT	VCT - VINYL COMPOSITION TILE	WB - RUBBER BASE	WB - WOOD SLATS	VYL - VINYL	PNL - ACOUSTICAL PANEL
RC - WALL-TO-WALL CARPET						



3 CARPET LOGO
1/2" = 1'-0"



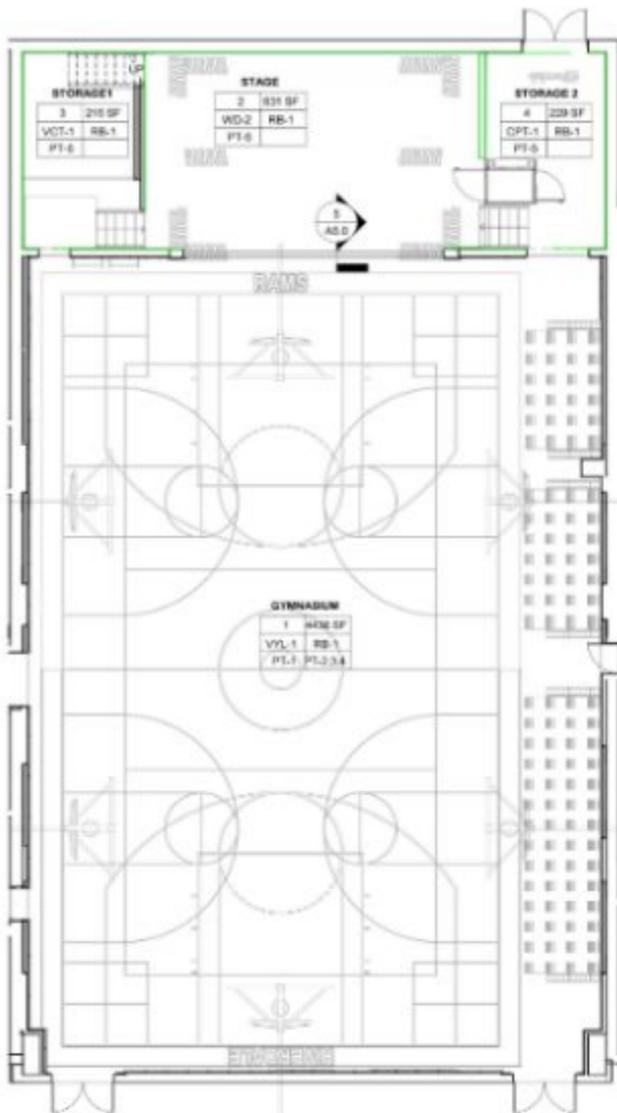
6 TYPICAL SECTION DETAIL
1 1/2" = 1'-0"

 Storage Mat
 Ruber Edging

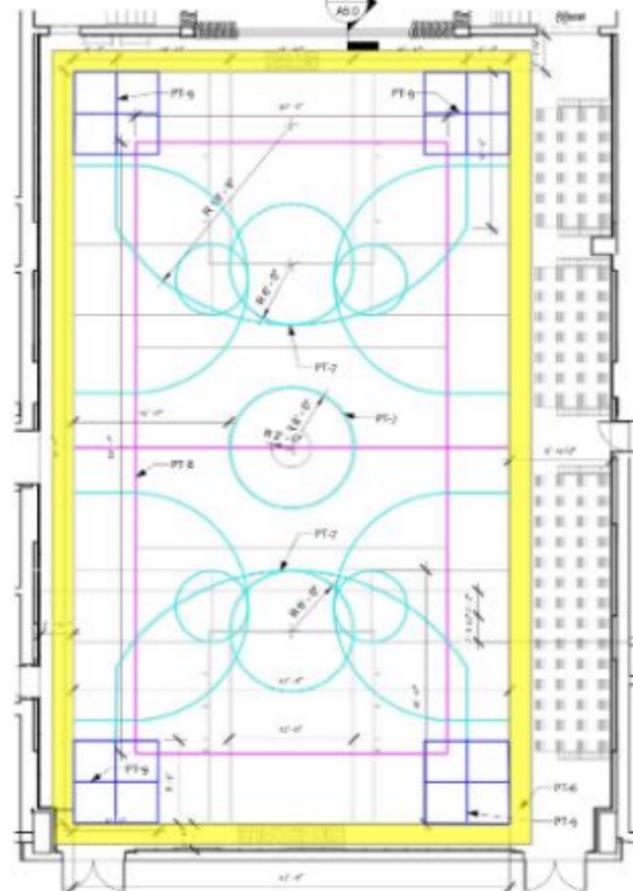
208.1 SQ FT
86.8 FT

No.	DATE	COMMENTS
1	3/18/24	ISSUE FOR BID

DATE: 3/18/24	SOLUTION No.:
SCALE: As Indicated	23-183
DRAWN BY: JL	DRAWING No.:
CHECKED BY: SP	A4.0



ROOM SCHEDULE						
Number	Name	Floor Finish	Wall Finish	Base Finish	Perimeter	Area
1	GYMNASIUM	VYL-1	PT-1	RB-1	279' - 1 3/4"	6435 SF
2	STAGE	WB-1	PT-5	RB-1	113' - 9 1/4"	121 SF
3	STORAGE 1	VCT-1	PT-5	RB-1	64' - 0"	215 SF
4	STORAGE 2	LPT-1	PT-5	RB-1	64' - 0"	229 SF

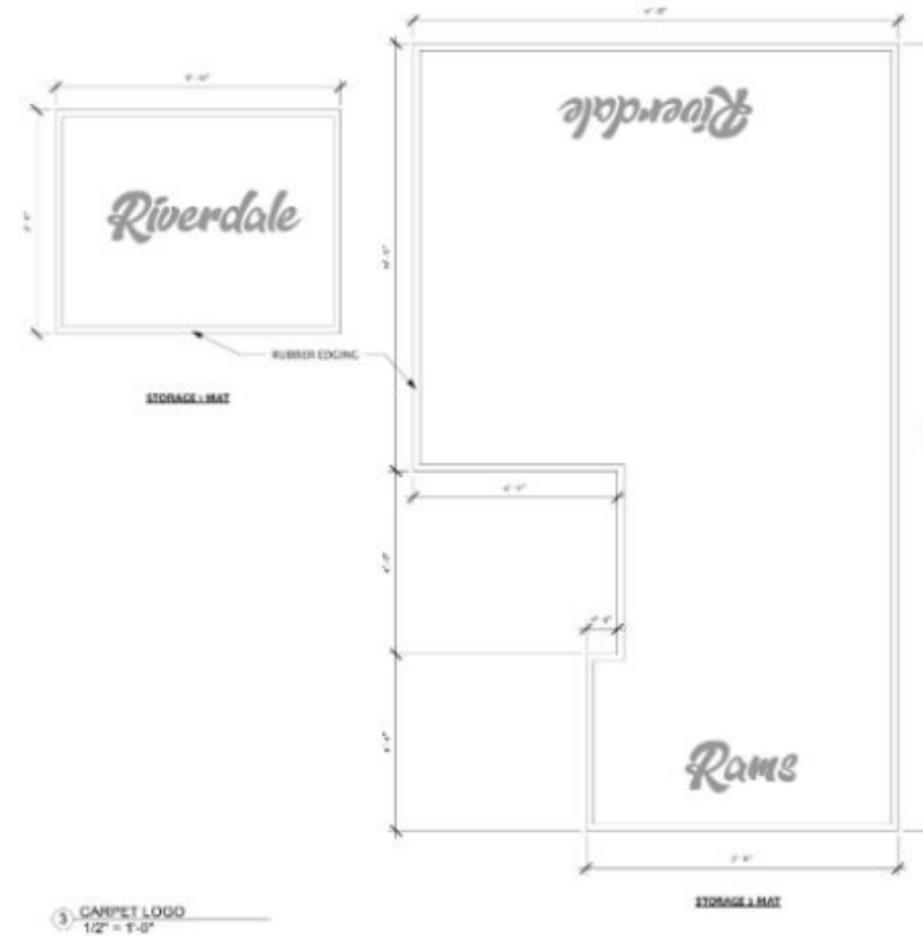


1 GYMNASIUM - FINISH PLAN
1/8" = 1'-0"

2 GYMNASIUM - LINES PLAN
1/8" = 1'-0"

FINISH SCHEDULE				
MATERIAL	MANUFACTURE	STYLE/MODEL	COLOR	COMMENTS
PT-1	BEAUFORT WOOD OR APPROVED EQUAL	PLANTATION	ALEXUM WHITE GC-115	WALL PAINT
PT-2	BEAUFORT WOOD OR APPROVED EQUAL	INTERIOR PAINT	96 COUNTRY BLUE	ACCENT COLOR & BOSS FRAMES (CORNERS)
PT-3	BEAUFORT WOOD OR APPROVED EQUAL	INTERIOR CEILING PAINT	STRAIN WHITE GC-115	CEILING COLOR
PT-4	BEAUFORT WOOD OR APPROVED EQUAL	INTERIOR WALL PAINT	BLAZE 210-11	STAIR/WALL ROOF/SIDE/STN COLOR
PT-5	BEAUFORT WOOD OR APPROVED EQUAL	INTERIOR PAINT	BLAZE 110-11	STAGE WALL & APERTURE COLOR
PT-6	CANAM COATINGS	INTERIOR PAINT	CUSTOM COLOR TO SW-96 COUNTRY BLUE	WALL BASKETBALL COURT LINES
PT-7	CANAM COATINGS	INTERIOR PAINT	CUSTOM COLOR TO SW-96 COUNTRY BLUE	WALL BASKETBALL COURT LINES
PT-8	CANAM COATINGS	INTERIOR PAINT	CAN-100 WASH-1000 WASH-1000	WALL BASKETBALL COURT LINES & VERTICAL COLOR LINES
PT-9	CANAM COATINGS	INTERIOR PAINT	GRAY	4 SQUARE LINES
WB-1	TRB	WOOD FLOOR	TRB	STAGE FLOORING
VYL-1	BEAUFORT WOOD OR APPROVED EQUAL	FORMER BK	AMERICAN OAK 210	COR FLOORING
OPT-1	ARMAND	GRAND BERBER	BLUE BRD	CARPET TILE
VCT-1	ARMAND FLOORING	STANDARD EXOS-ON-APERTURE	BLUE GRAY-1101	VINYL COMPOSITION TILE
RB-1	TARGET	TRB	BLUE JEANS	1/2" RUBBER COVE BASE
PNL-1	CERTANTEO	ACQUISTEX FABRIC/SHLFFORD-OF-WAIRE	CORAL 418	ACOUSTICAL PANEL
PNL-2	CERTANTEO	ACQUISTEX FABRIC/SHLFFORD-OF-WAIRE	WEDGWOOD-154	ACOUSTICAL PANEL
PNL-3	CERTANTEO	ACQUISTEX FABRIC/SHLFFORD-OF-WAIRE	SKY 310	ACOUSTICAL PANEL
PNL-4	CERTANTEO	ACQUISTEX FABRIC/SHLFFORD-OF-WAIRE	WHITE 214	ACOUSTICAL PANEL
RC-1	ARMAND PRODUCTS	GRAND BERBER	BLUE BRD/YELLOW	CUSTOM MAT WITH GRAPHS

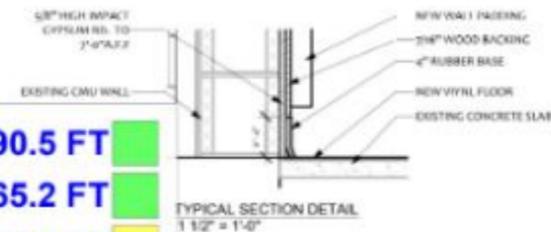
ABBREVIATION	PT - PAINT	VCT - VINYL COMPOSITION TILE	WB - RUBBER BASE	WB - WOOD SLATS	VYL - VINYL	PNL - ACOUSTICAL PANEL
WC - WALL OFF CARPET						



3 CARPET LOGO
1/2" = 1'-0"

- PT-5
- PT-5
- PT-6
- Pt-9
- Pt-8
- PT-7

- 90.5 FT
- 65.2 FT
- 477.0 SQ FT
- 194.5 FT
- 221.7 FT
- 493.8 FT



SOLUTIONS ARCHITECTURE
FRANK A. MESSING, AIA + ARCHITECT

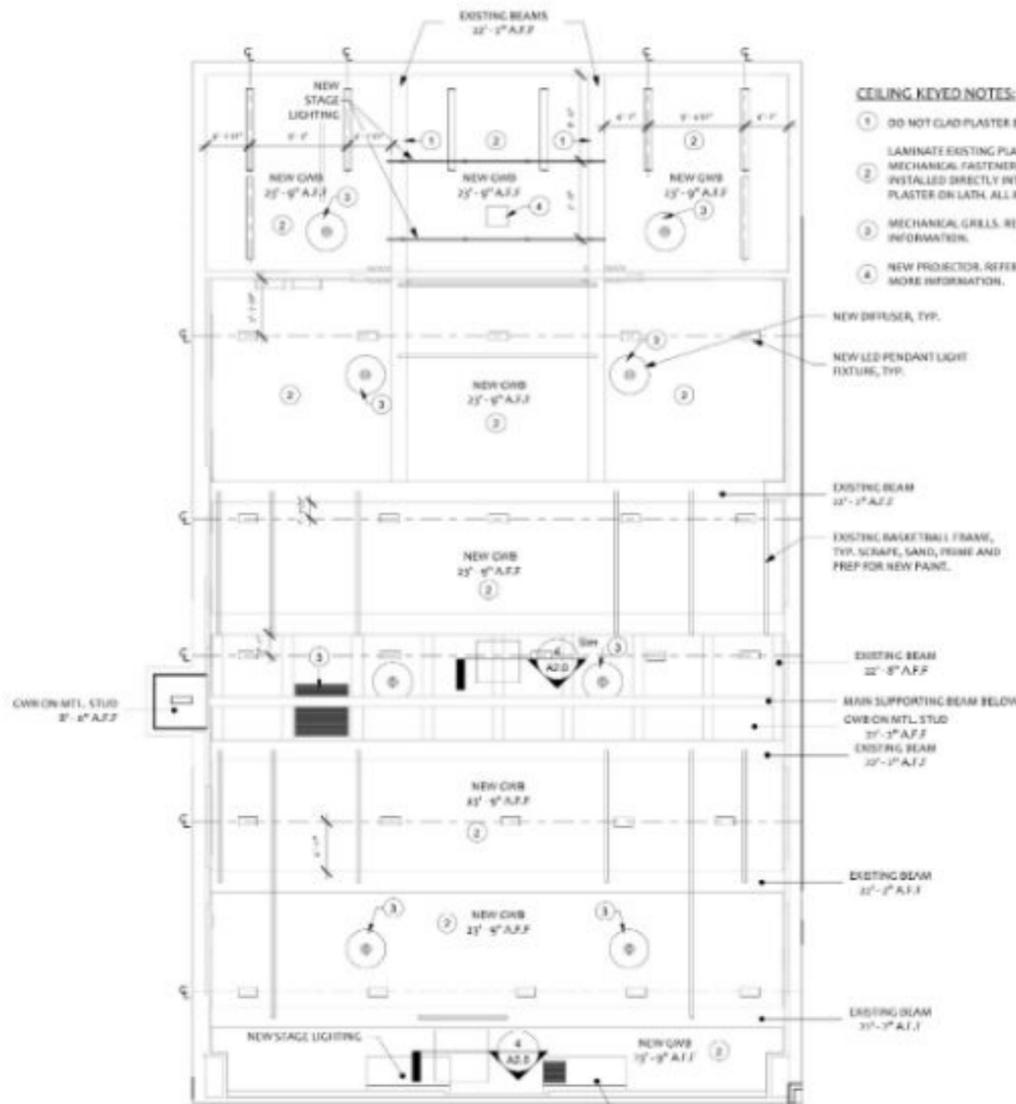
100 W. 10TH STREET, SUITE 100
RIVERDALE, NJ 07075
TEL: 908.885.1100 FAX: 908.885.1101
WWW.SOLUTIONSARCHITECTURE.COM

GYMNASIUM RENOVATIONS
FOR
RIVERDALE BOARD OF EDUCATION
AT
RIVERDALE PUBLIC SCHOOL
33 NEWARK POMPTON TURNPIKE, RIVERDALE, NJ 07075

Consulting Engineer's Seal

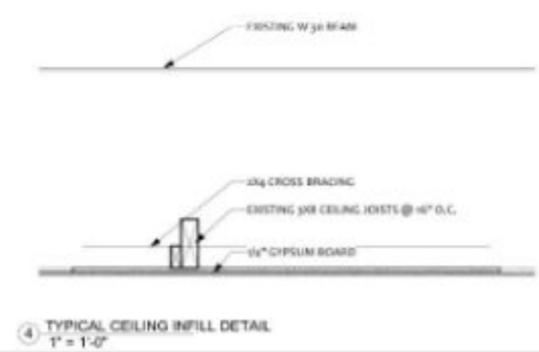
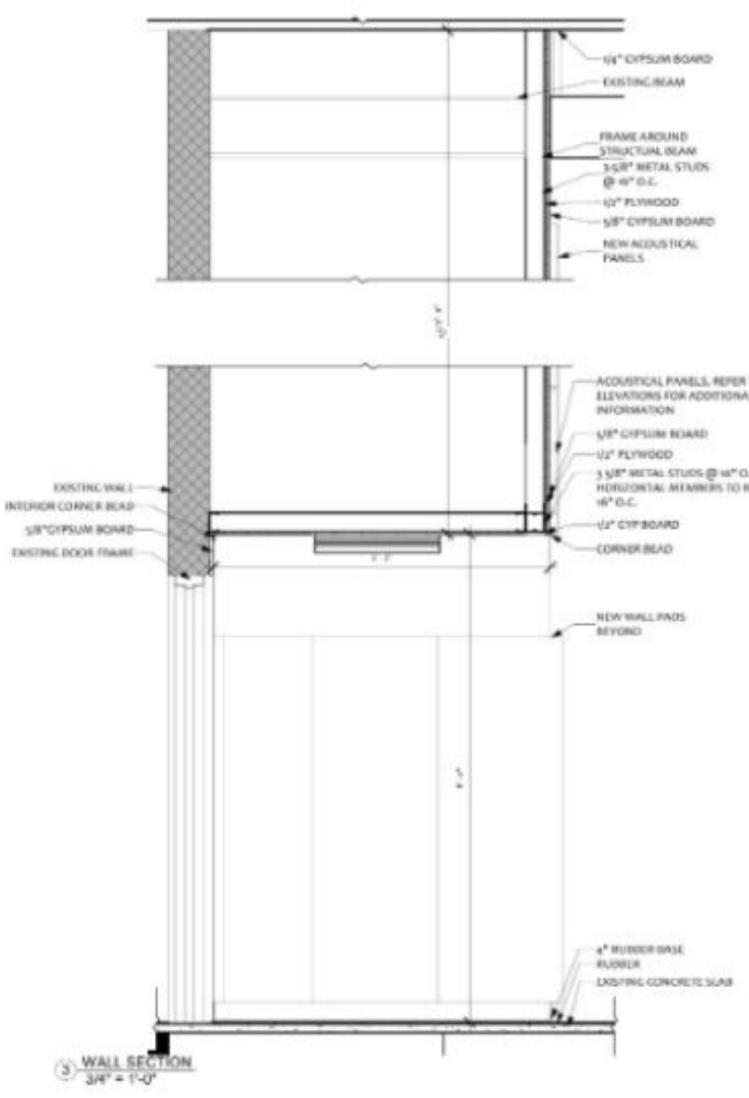
FINISH PLAN & DETAILS

DATE: 06/20/24	SOLUTION No: 23-183
SCALE: As Indicated	
DRAWN BY: JL	DRAWING No: A4.0
CHECKED BY: SF	

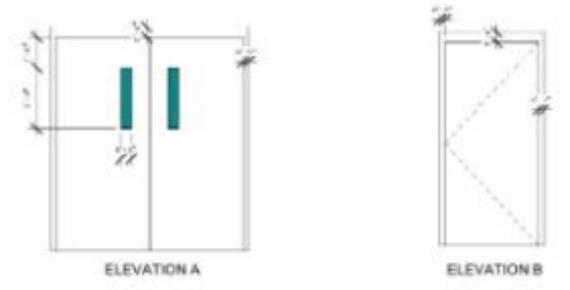


- CEILING KEYED NOTES:**
- DO NOT CLAD PLASTER BEAMS. ONLY PRIME, PREP, AND PAINT
 - LAMINATE EXISTING PLASTER CEILING WITH 1/2" GYPSUM WITH MECHANICAL FASTENERS INCLUDING BEAMS. ALL SCREWS MUST BE INSTALLED DIRECTLY INTO EXISTING WOOD STRUCTURE ABOVE THE PLASTER ON LATH. ALL MECHANICAL FASTENERS TO BE HIDDEN.
 - MECHANICAL GRILLS. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
 - NEW PROJECTOR, REFER TO AV AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.

- GENERAL CEILING NOTES:**
- REFER TO ELECTRICAL DRAWINGS FOR TYPES OF FIXTURES. UTILIZE THE REFLECTED CEILING PLAN FOR LOCATION AND COORDINATION OF FIXTURES. DISCREPANCIES BETWEEN THE ELECTRICAL AND ARCHITECTURAL DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 - REFER TO ELECTRICAL DRAWINGS FOR EMERGENCY LIGHT, NIGHT LIGHT, AND EXIT SIGN LOCATIONS.
 - REFER TO MECHANICAL DRAWINGS FOR HVAC GRILLES AND DIFFUSERS. UTILIZE REFLECTED CEILING PLAN FOR LOCATION AND COORDINATION OF ITEMS.
 - PAINT ALL STRUCTURE, STEEL DECK, DUCTWORK, PIPING, ETC. COLORS TO BE SELECTED BY THE ARCHITECT.
 - CONTRACTOR SHALL CATALOGUE EXISTING WIRING AND CABLES ABOVE CEILING. ABANDONED CABLES MUST BE REMOVED IN THEIR ENTIRETY. EXISTING CABLES AND WIRING SHALL BE REPLACED AND SECURED TO DECK IN ACCORDANCE WITH REQUIREMENTS (SEE ELECTRICAL DWG). PROVIDE WIRE TRAYS AND WALL EDGES AS NECESSARY TO SUPPORT AND SECURE WIRING.
 - ALL CYP. CLG. TO BE PRIMED, PREPARED AND PAINTED WITH PS-3, UNLESS NOTED OTHERWISE.

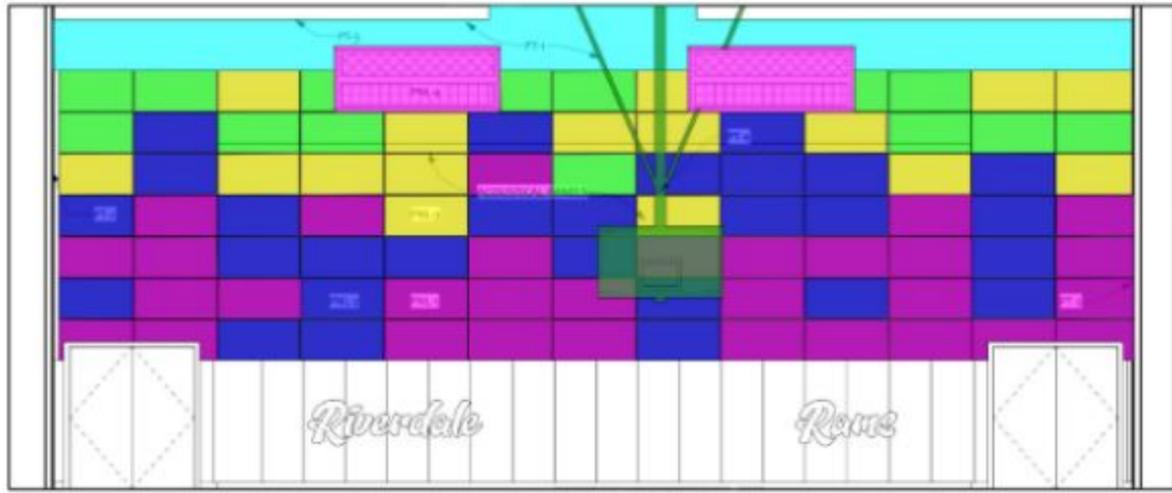


DOOR SCHEDULE								
DOOR NO.	ROOM	DOOR TYPE	FRAME TYPE	WIDTH	HEIGHT	DOOR ELEVATION	FIRE RATING	COMMENTS
1	CORRIDOR	SWC/GL	HM	6'-0"	7'-0"	A	20 MIN	
2	CORRIDOR	SWC/GL	HM	6'-0"	7'-0"	A	20 MIN	
3	BOYS LOCKER ROOM	SWC	HM	3'-0"	7'-0"	B		
4	GIRLS LOCKER ROOM	SWC	HM	3'-0"	7'-0"	B		
5	GYMNASIUM	SWC	HM	3'-0"	6'-8"	B		
6	STORAGE 2	FRP/GL	AL	6'-0"	7'-0"	A		CARD READER

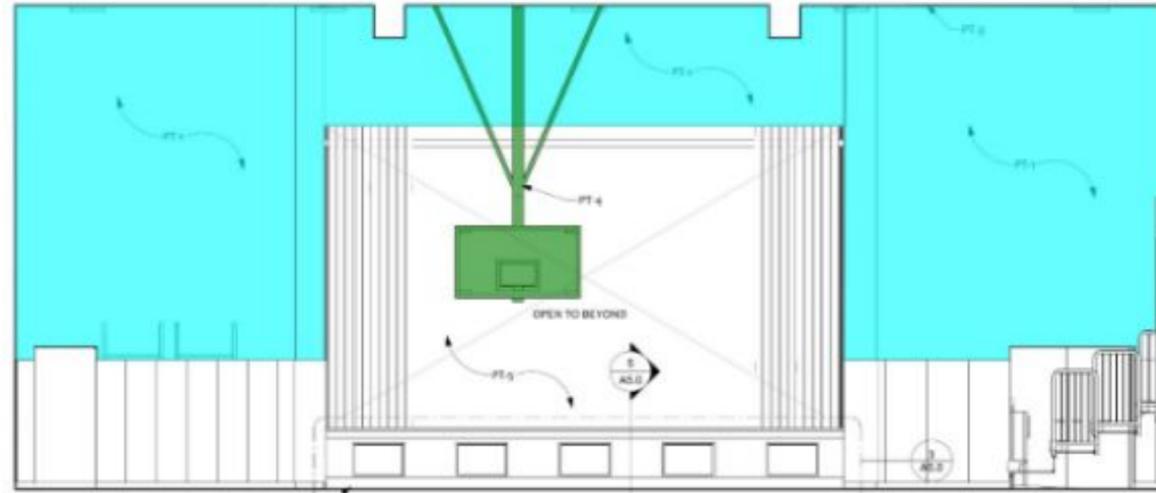


- ABBREVIATIONS:**
- PT PAINT
 - ST STAIN
 - HM HOLLOW METAL
 - SWC SOLID WOOD CORE
 - ETB EXISTING TO REMAIN
 - ALUM ALUMINUM
 - GL GLAZING
 - F.T FIRE TREATED
 - FRP FIBERGLASS REINFORCED PANEL ON ALUMINUM CORE
 - CR CARD READER
- TYPICAL DOOR NOTES:**
- REFER TO SPECIFICATIONS FOR HARDWARE SET
 - HM FRAMES TO BE PAINTED. COLOR TO BE TBD
 - CONTRACTOR TO PROVIDE KEYING TO MATCH EXISTING BUILDING STANDARD
 - DOORS TO HAVE A FLOOR CLEARANCE OF 1/4" MAX AND UNDERCUT OF 1/8" MAX
 - ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.
 - REFER TO PROJECT MANUAL FOR GLAZING SCHEDULE.
- **NOTE: ALL HARDWARE TO BE ADA COMPLIANT AND MEET THE MOST CURRENT SECURITY REQUIREMENTS, COORDINATE ALL DOOR HARDWARE WITH OWNER TO MATCH BUILDING STANDARD.**
- **NOTE: ALL HARDWARE TO BE ADA COMPLIANT, COORDINATE ALL DOOR HARDWARE WITH OWNER TO MATCH BUILDING STANDARD.**

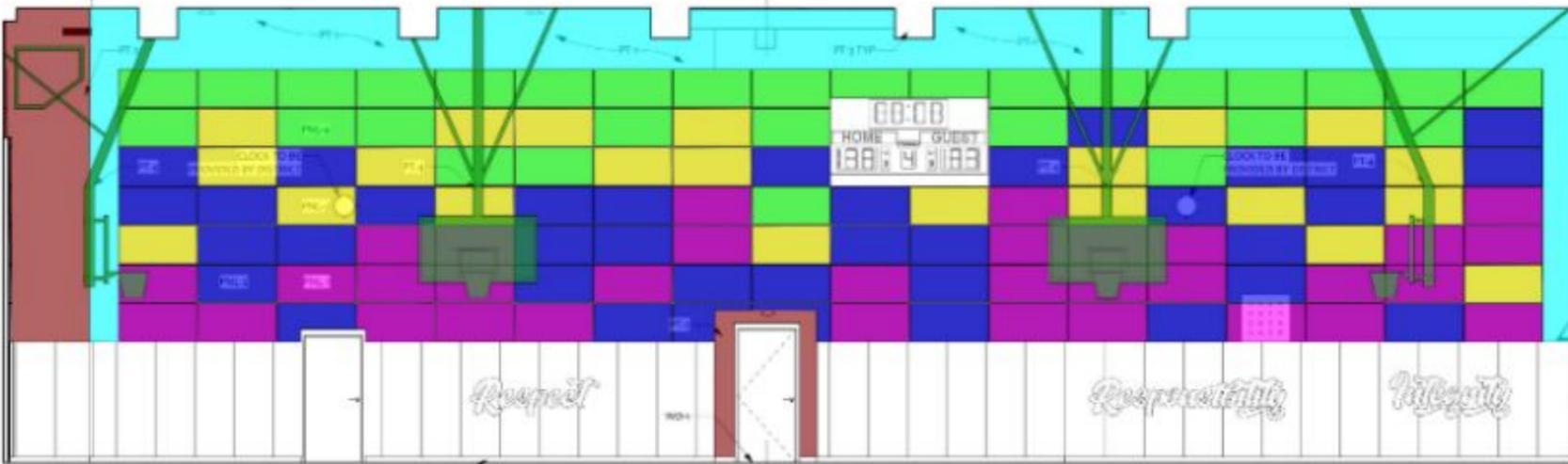
- Dimension: 6'-0"x7'-... 2.0 EA
- Dimension: 6'-0"x7'-... 1.0 EA
- Dimension: 3'-0"x7'-... 2.0 EA
- Dimension: 6'-0"x6'-... 1.0 EA
- 4"x24" Door Glazing 4.0 SQ FT



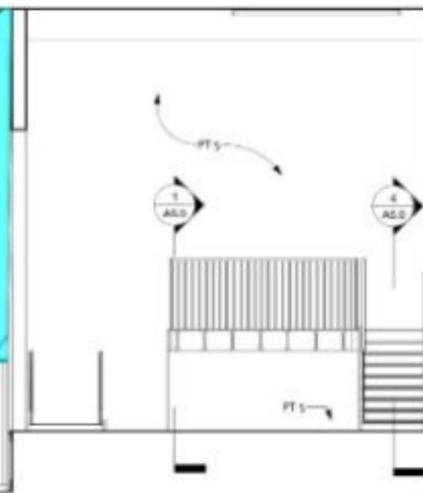
1 GYMNASIUM SOUTH ELEVATION
1/4" = 1'-0"



2 GYMNASIUM NORTH ELEVATION
1/4" = 1'-0"

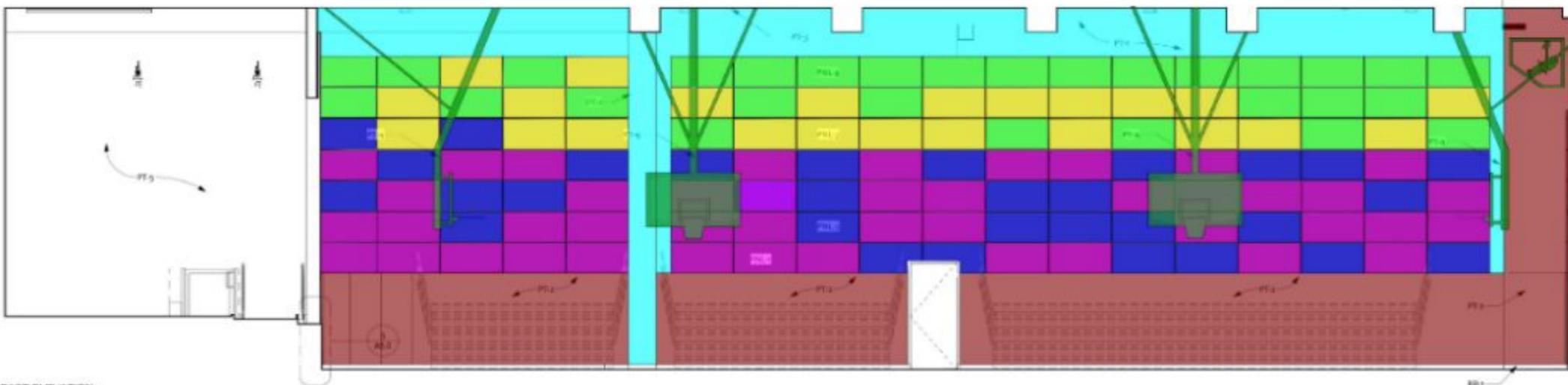


3 GYMNASIUM WEST ELEVATION
1/4" = 1'-0"



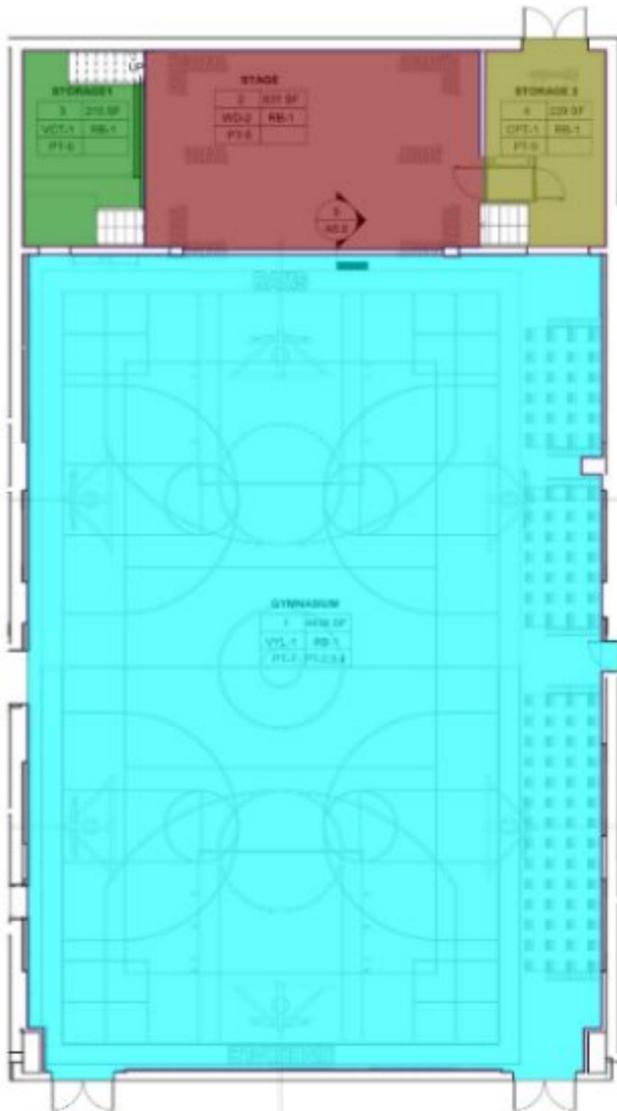
WALL PANEL LEGEND:

PNL-1 (WHITE)
PNL-2 (SKY)
PNL-3 (WILDGEWOOD)
PNL-4 (COBALT)

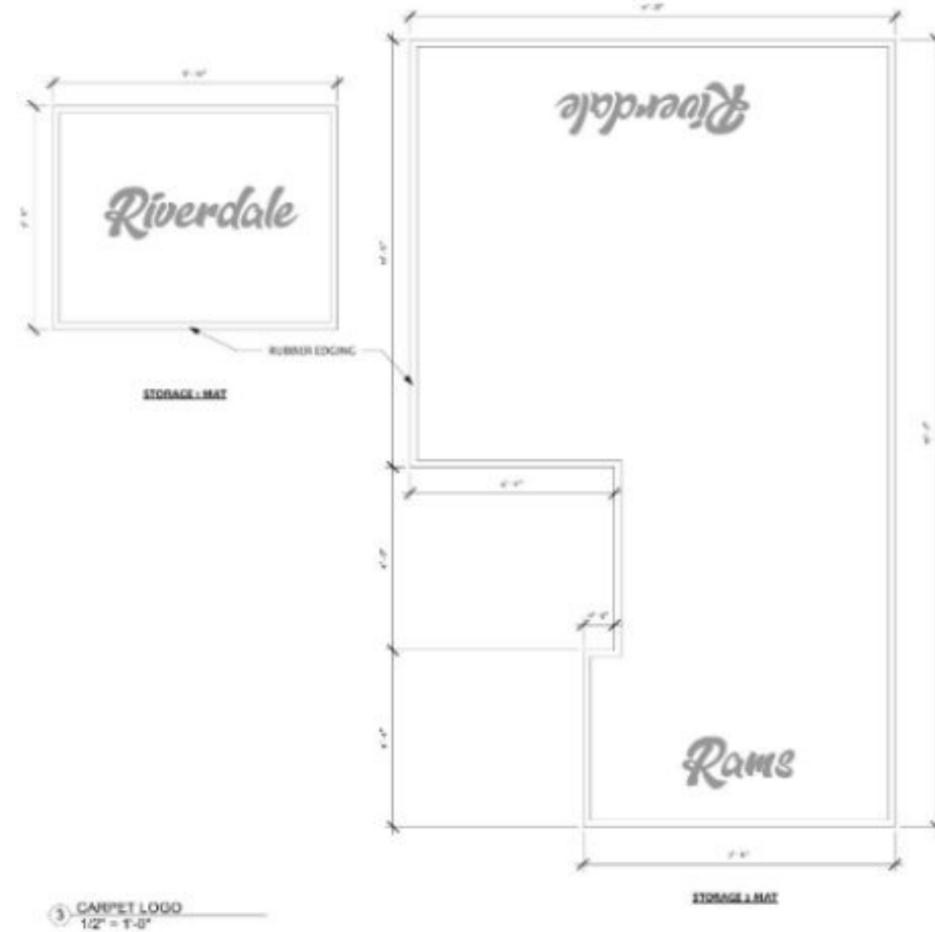
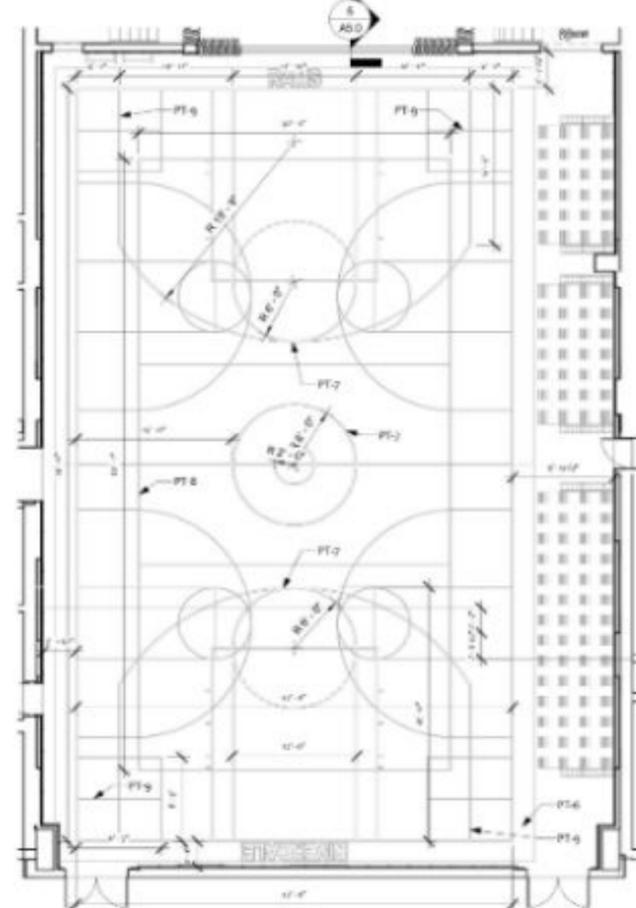


4 GYMNASIUM EAST ELEVATION
1/4" = 1'-0"

PT1	1336.4 SQ FT
PT2	611.2 SQ FT
PT4	216.0 SQ FT
PNL-4	555.5 SQ FT
PNL-3	475.9 SQ FT
PNL-2	748.0 SQ FT
PNL-1	893.4 SQ FT



ROOM SCHEDULE						
Number	Name	Floor Finish	Wall Finish	Base Finish	Perimeter	Area
1	GYMNASIUM	VYL-1	PT-1	RB-1	279' - 1 3/4"	4422.9 SF
2	STAGE	WD-1	PT-5	RB-1	113' - 9 1/4"	631.2 SF
3	STORAGE 1	VCT-1	PT-5	RB-1	64' - 0"	184.2 SF
4	STORAGE 2	CPT-1	PT-5	RB-1	60' - 10"	214.1 SF



1 GYMNASIUM - FINISH PLAN
1/8" = 1'-0"

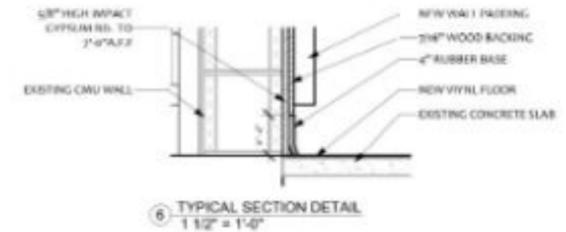
2 GYMNASIUM - LINES PLAN
1/8" = 1'-0"

3 CARPET LOGO
1/2" = 1'-0"

FINISH SCHEDULE

MATERIAL	MANUFACTURER	STYLE/MODEL	COLOR	COMMENTS
PT-1	DELAMIN WOOD OR APPROVED EQUAL	INTERIOR PAINT	A-1000 WHITE GC-145	WALL PAINT
PT-2	DELAMIN WOOD OR APPROVED EQUAL	INTERIOR PAINT	96-COUNTRY BLUE	ACCENT COLOR & BOSS FRAMES (GYMNASIUM)
PT-3	DELAMIN WOOD OR APPROVED EQUAL	INTERIOR CEILING PAINT	STREAM WHITE GC-145	CEILING COLOR
PT-4	DELAMIN WOOD OR APPROVED EQUAL	INTERIOR WALL PAINT	FLORA 200-01	BRUSH WALL PAINT (STAGE & STORAGE)
PT-5	DELAMIN WOOD OR APPROVED EQUAL	INTERIOR PAINT	SI-ACE 100-01	STAGE WALL & APPOINTMENT COLOR
PT-6	CANAM COATINGS	INTERIOR PAINT	CUSTOM COLOR TO MATCH COUNTRY BLUE	WALL BASKETBALL COURT LINES
PT-7	CANAM COATINGS	INTERIOR PAINT	CUSTOM COLOR TO MATCH COUNTRY BLUE	WALL BASKETBALL COURT LINES
PT-8	CANAM COATINGS	INTERIOR PAINT	GRAY	4 SQUARE LINES
WD-1	T&B	WOOD FLOOR	T&B	STAGE FLOORING
VYL-1	BOYSURFACES	FORREST 88	AMERICAN OAK 2360	GYM FLOORING
CPT-1	ARMCO	GRAND BERBER	BLUE BRD	CARPET TILE
VCT-1	ARMSTRONG FLOORING	STANDARD EXOS-ON-APERTAL	BLUE GRAY - 1969	VINYL COMPOSITION TILE
RB-1	TARGET	T&B	BLUE JEANS	4" RUBBER COVE BASE
PNL-1	CERTAINTEED	ACOUSTICAL FABRIC (HILFORD-OF-WAIRE)	CORAL 408	ACOUSTICAL PANEL
PNL-2	CERTAINTEED	ACOUSTICAL FABRIC (HILFORD-OF-WAIRE)	WEDGEWOOD 150	ACOUSTICAL PANEL
PNL-3	CERTAINTEED	ACOUSTICAL FABRIC (HILFORD-OF-WAIRE)	SKY 300	ACOUSTICAL PANEL
PNL-4	CERTAINTEED	ACOUSTICAL FABRIC (HILFORD-OF-WAIRE)	WHITE 204	ACOUSTICAL PANEL
RB-1	ARMCO PRODUCTS	GRAND BERBER	BLUE BRD/YELLOW	CUSTOM MAT WITH GRAPHS

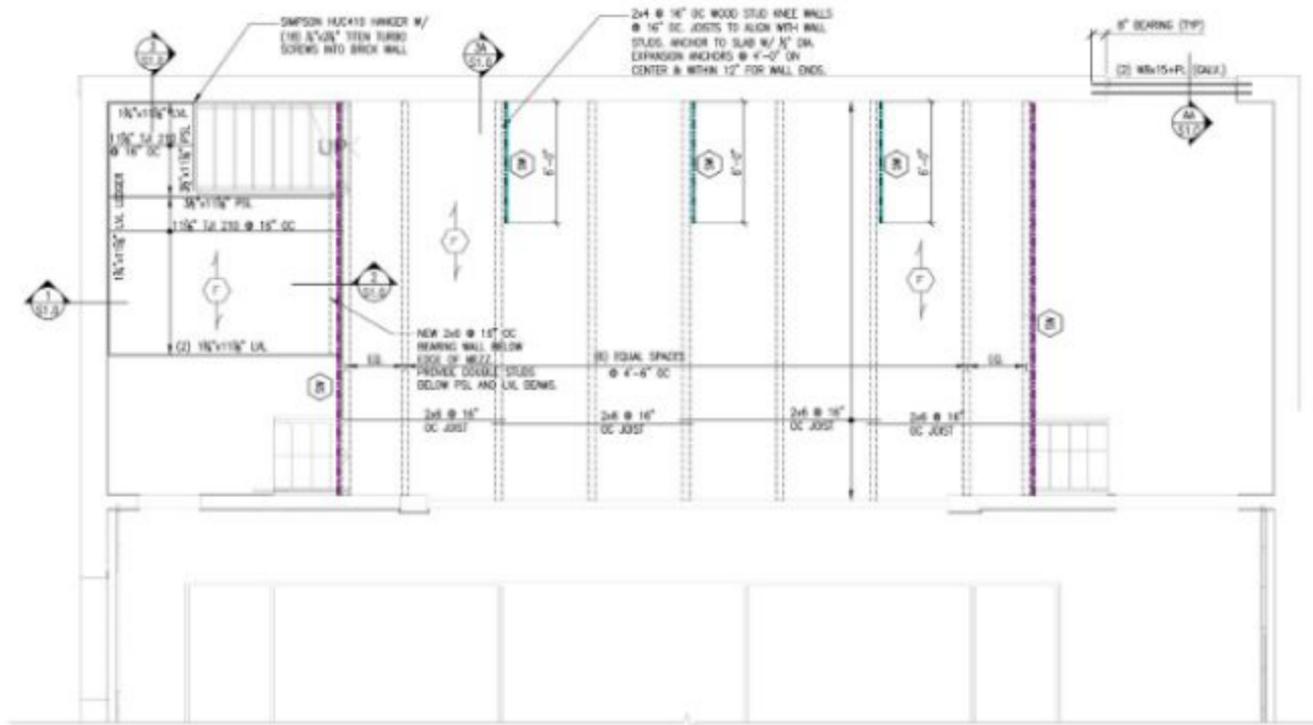
- VYL1: Vinyl Fl... 4422.9 SQ FT
- Wood Slats Floor... 631.2 SQ FT
- VCT1: Vinyl Com... 184.2 SQ FT
- CPT1: Carpet Tile 214.1 SQ FT
- RB1: 4" Rubber Ba... 333.4 FT
- Transition: WD-2 to C... 4.5 FT
- RB-1: Stage 94.9 FT



NO.	DATE	COMMENTS
1	10/20/24	ISSUE FOR BID

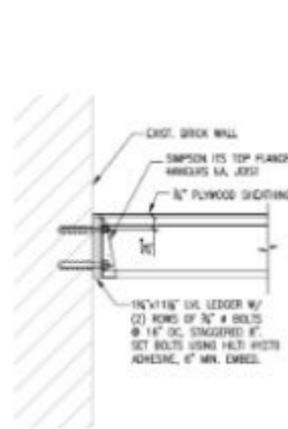
DATE:	10/20/24	SOLUTION No.	23-183
SCALE:	As Indicated	DRAWING No.	A4.0
DRAWN BY:	JL	CHECKED BY:	SF

ALTERNATE BID: DEMOLITION AND RECONSTRUCTION OF THE STAGE FLOOR & STAIRS SHALL BE INCLUDED AS AN ALTERNATE BID ITEM.

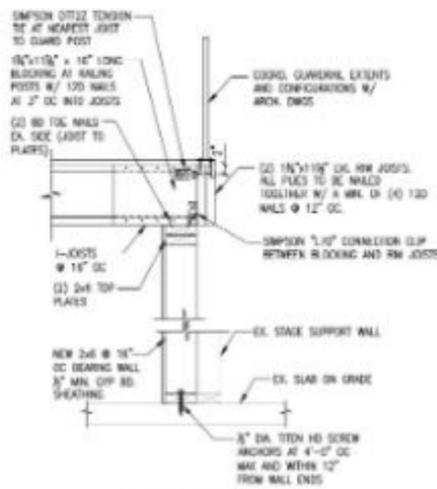


PARTIAL PLAN - STAGE FLOOR RECONSTRUCTION & NEW STORAGE MEZZANINES
SCALE: 1/4"=1'-0"
(DO NOT SCALE PLAN)

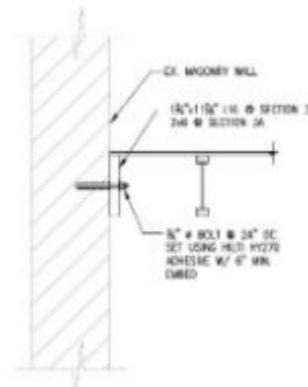
- NOTES:
- COORDINATE STAGE EXTENTS AND HEIGHT WITH ARCH. DRAWINGS. RECONSTRUCTED STAGE TO MATCH EXISTING STAGE.
 - IDENTIFIES SPIN OF 1" T & G ADVANTECH PLYWOOD SUB-FLOORING. PROVIDE CONTINUOUS CONSTRUCTION ADHESIVE TO EACH JOIST AND PROVIDE 130 RINGSHANK NAILS AT 12" ON CENTER EA. JOIST.
 - IDENTIFIES 3/4" PLYWOOD SHEAR WALL SHEATHING ON ONE SIDE OF KNEE WALL. NAIL WITH 10D NAILS @ 12" ON CENTER IN FIELD AND 3" ON CENTER AT EDGES. PROVIDE SOLID 2x6 BLOCKING BETWEEN JOISTS AND TERMINAL TO TOP PLATES OF KNEE WALLS W/ 8D NAILS @ 6" ON CENTER MAX.



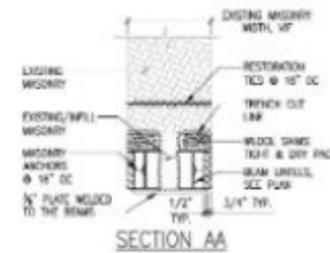
1 SECTION
S1.0



2 SECTION
S1.0



3 SECTION
S1.0



- PROCEDURE:
- INSTALL RESTORATION TIE @ 16" OC ABOVE THE LINE OF TRENCH.
 - TRENCH THE FACE OF EXISTING MASONRY WALL AND INSTALL THE BEAM-PROMOTE END BEARING AS SHOWN.
 - SHIM AND GRIP PACK AT TOP OF BEAM.
 - REPEAT STEPS 2 AND 3 TO INSTALL SECOND BEAM.
 - REMOVE BALANCE OF WALL AS REQUIRED.
 - WELD PLATE AT BOTTOM OF BEAM.

2X6 STUDS, 23'-9"
2X4 STUDS, KNEE WALL

38.6 FT
18.0 FT

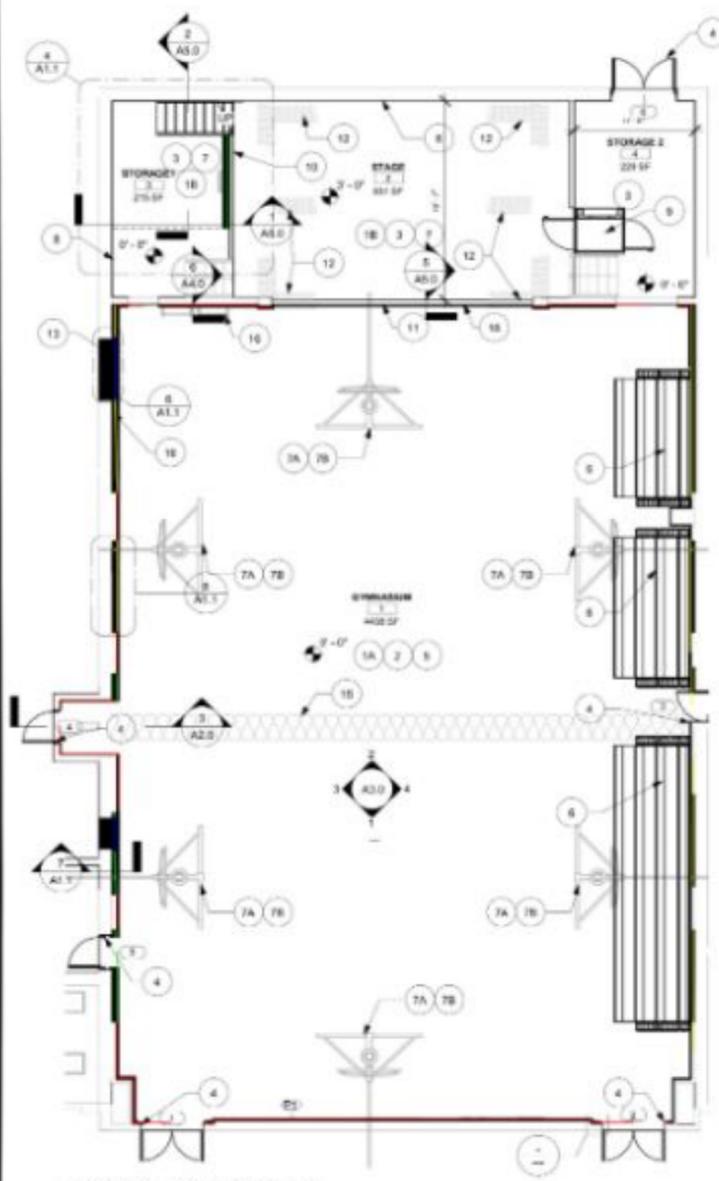


MTP Engineers LLC
24 S. Main Street, Suite 4
Morristown, NJ 07960
Phone: 908.450.2211

Consulting Engineer's Seal

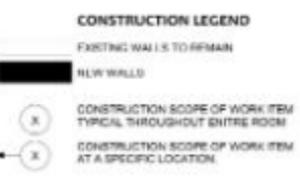
No.	DATE	COMMENTS

DATE: 12/29/2024	SOLUTION No.:
SCALE:	23-183
DRAWN BY: MTP	DRAWING No.:
CHECKED BY: SWM	S1.0

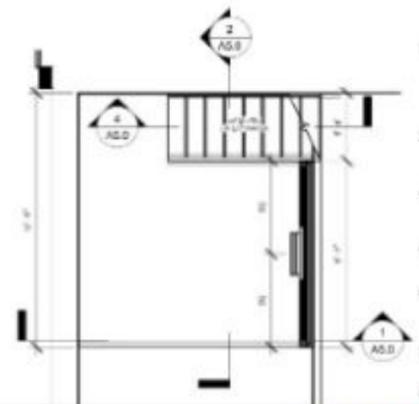


- NEW SCOPE OF WORK NOTES**
- GC TO MEASURE THE FLOORING FROM PREVIOUS FINISH FLOOR HEIGHT TO MATCH THE EXISTING FLOOR JAMBS, AND INSTALL APPROXIMATELY 1/2" OF CERAMIC TILE LEVELING COMPOUND AS REQUIRED TO MATCH THE NEW MULTIPURPOSE FLOORING FLUSH WITH THE PREVIOUS FLOOR ELEVATION. REFER TO THE FINISH PLAN FOR ADDITIONAL INFORMATION.
 - SAND, STAIN, AND PROVIDE PROTECTIVE CLEAR COAT TO EXISTING STAGE FLOORING, INCLUDING STAIR STEPS.
 - LAMINATE EXISTING PLASTER CEILING WITH 1/2" GYP BOARD WITH MECHANICAL FASTENERS. ALL SCREWS MUST BE INSTALLED DIRECTLY INTO EXISTING WOOD BEAMS ABOVE THE EXISTING PLASTER ON METAL LATH.
 - PATCH, PREPARE, PRIME AND PAINT HARD CEILING, WALLS, BRACES, SOFFITS, AND STRUCTURAL SUPPORTS. REFER TO FINISH PLAN AND ELEVATIONS FOR MORE INFORMATION.
 - PROVIDE NEW DOOR, FRAME, AND HARDWARE AS SCHEDULED. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
 - INSTALL NEW WALL PADS. REFER TO ELEVATIONS FOR ADDITIONAL INFORMATION.
 - NEW BLEACHERS TO BE INSTALLED BY SEPARATE VENDOR. GC TO PATCH, LEVEL, AND PREPARE FLOOR AND WALLS PRIOR TO INSTALLATION.
 - G.C. TO COORDINATE POWER REQUIREMENTS WITH VENDOR. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION. GC TO SCRAPE, SAND, AND PAINT EXISTING BASKETBALL HOOP STRUCTURE.
 - ALTERNATE 800:** NEW BASKETBALL BACKBOARDS TO BE PROVIDED AND INSTALLED BY GC.
 - EXISTING BRICK WALL TO BE SCRAPED, CLEANED AND PREPARED FOR NEW PAINT AS SCHEDULED. ANY VOIDS IN THE BRICK WALL SHALL BE BLOCK FILLED.
 - PROVIDE AND INSTALL NEW CHAIR LIFT FOR THE STAGE. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - NEW MEZZANINE, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - ALTERNATE 800:** INSTALL NEW STAGE INCLUDING OF STRUCTURE, STAIRS, FINISH FLOOR, AND FRONT APRON. REFER TO STRUCTURAL DRAWINGS, FINISH PLAN, AND ELEVATIONS FOR ADDITIONAL INFORMATION.
 - REINSTALL STAGE CURTAINS ON EXISTING STRUCTURE.
 - REFILL MASONRY TO MATCH EXISTING.
 - SCORING BOARD TO BE PROVIDED BY SEPARATE VENDOR AND INSTALLED BY GC. GC TO PROVIDE BLOCKING AND ELECTRICAL AS REQ'D. REFER TO ELEVATIONS FOR ADDITIONAL INFORMATION.
 - REINSTALL ROOM DIVIDER CURTAIN AND PROVIDE PERMANENT POWER. REFER TO ELECTRICAL DRAWINGS FOR MORE INFO.
 - REINSTALL PULL UP BAR/GC TO SAND, PRIME, AND PAINT EXISTING PULL UP BAR PRIOR TO REINSTALLATION.
 - REINSTALL SQUARE PIG BOARD CLUMBER. GC TO SAND, STAIN, AND CLEAR COAT EXISTING SQUARE PIG BOARD CLUMBER PRIOR TO REINSTALLATION.
 - INSTALL NEW FINISH PANELING, MOVABLE PANELS/DOORS AND REQUIRED HARDWARE.

1 GYMNASIUM - NEW WORK PLAN
1/8" = 1'-0"



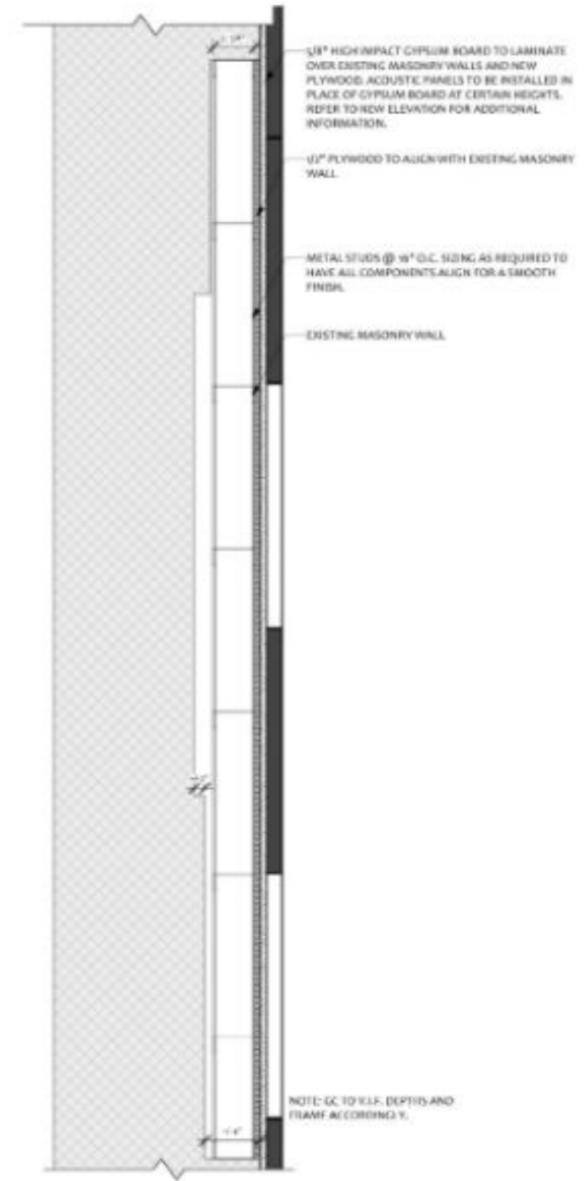
- WALL TYPE P1, 24'-6"
- WALL 7, 24'-9"
- FURRING WALL, 23'-9"
- WALL INFILL, 23'-9"



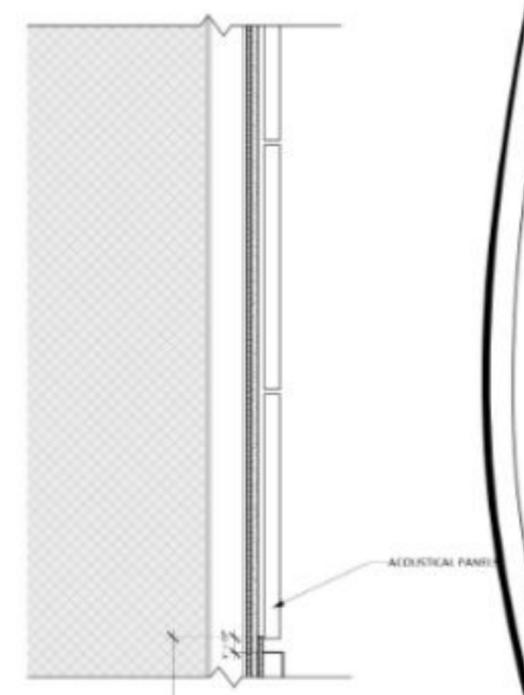
- 117.1 FT
 - 24.6 FT
 - 79.7 FT
 - 9.4 FT
- ALL DIMENSIONS, DOOR PANEL PROFILE AND TRIM PROFILE SHALL BE VERIFIED BY CONTRACTOR PRIOR TO FABRICATION.
- CONTRACTOR SHALL PROTECT EXISTING FLOOR DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY REPAIR ASSOCIATED WITH DAMAGE DURING THE CONSTRUCTION.

CONSTRUCTION GENERAL NOTES:

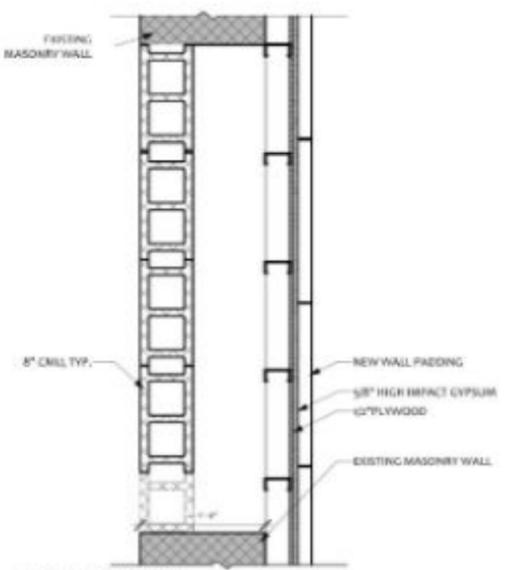
- CONTRACTOR SHALL NOT CONSIDER THESE DEMOLITION AND ALTERNATION NOTES TO BE AN INSURANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH SPACE AND TO FULFILL THE INTENT OF THE WORK INDICATED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITHIN THE CONTRACT LIMITS AND BRING ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS, NECESSITATED BY FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- WHERE EXISTING CONSTRUCTION (WALLS, DOORS, CEILING, ETC.) IS TO REMAIN AND IS ALTERED, PROVIDE FINISHES TO MATCH EXISTING. ALL EXISTING STAINED WOOD TRIM TO BE REMOVED AND REPLACED TO MATCH EXISTING EXCEPT WHERE NOTED ON THE DOOR SCHEDULE. COORDINATE WITH ARCHITECT.
- REMOVE PROJECTIONS, HANGERS, RED TAGS, SCREWS, NAILS, HOOKS, JOINTS, CURBS, FURRING, BLOCKING FROM ALL EXISTING SURFACES. FILL GAPS AND PREPARE SURFACES TO RECEIVE WORK AND FINISHES.
- PROTECT, PATCH AND REPAIR ALL ADJACENT SURFACES WHICH ARE AFFECTED BY THE DEMOLITION, THE WORK, OR REMOVAL OF ACCESSORIES TO THEIR ORIGINAL FORM AND FINISH (UNLESS OTHERWISE NOTED).
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEAN UP OF ALL CONSTRUCTION DEBRIS.
- CONTRACTOR SHALL REMOVE EXISTING DOOR, FRAME, TRANSOM, AND HARDWARE IN ITS ENTIRETY WHERE NEW DOORS ARE SCHEDULED FOR INSTALLATION.
- PROVIDE NEW FIRE RATED WOOD DOOR, TRANSOMS AND HOLLOW METAL FRAMES AS SCHEDULED.
- CONTRACTOR SHALL PATCH AND REPAIR ALL ADJACENT FINISHES TO MATCH EXISTING, INCLUDING WALL, CEILING AND FLOOR FINISHES.



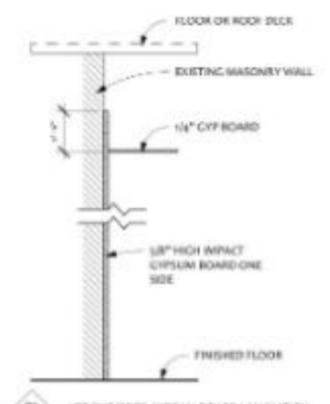
8 TYPICAL WALL FURR OUT PLAN DETAIL
1/8" = 1'-0"



7 WALL SECTION
1/8" = 1'-0"



6 WALL INFILL DETAIL
1" = 1'-0"



5 WALL PARTITIONS
1" = 1'-0"

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Architect's Seal

GYMNASIUM RENOVATIONS FOR
RIVERDALE BOARD OF EDUCATION
AT
RIVERDALE PUBLIC SCHOOL

33 NEWARK HAMPDEN TURNPIKE, SUITE 100, NJ 07074
Consulting Engineer's Seal

NEW WORK PLANS

DATE: 06/20/24	SOLUTION No: 23-183
SCALE: As Indicated	DRAWING No: A1.1
DRAWN BY: JL	CHECKED BY: SP
NO. DATE COMMENTS	ISSUE FOR BID
1 06/20/24	