

Working Drawings - A

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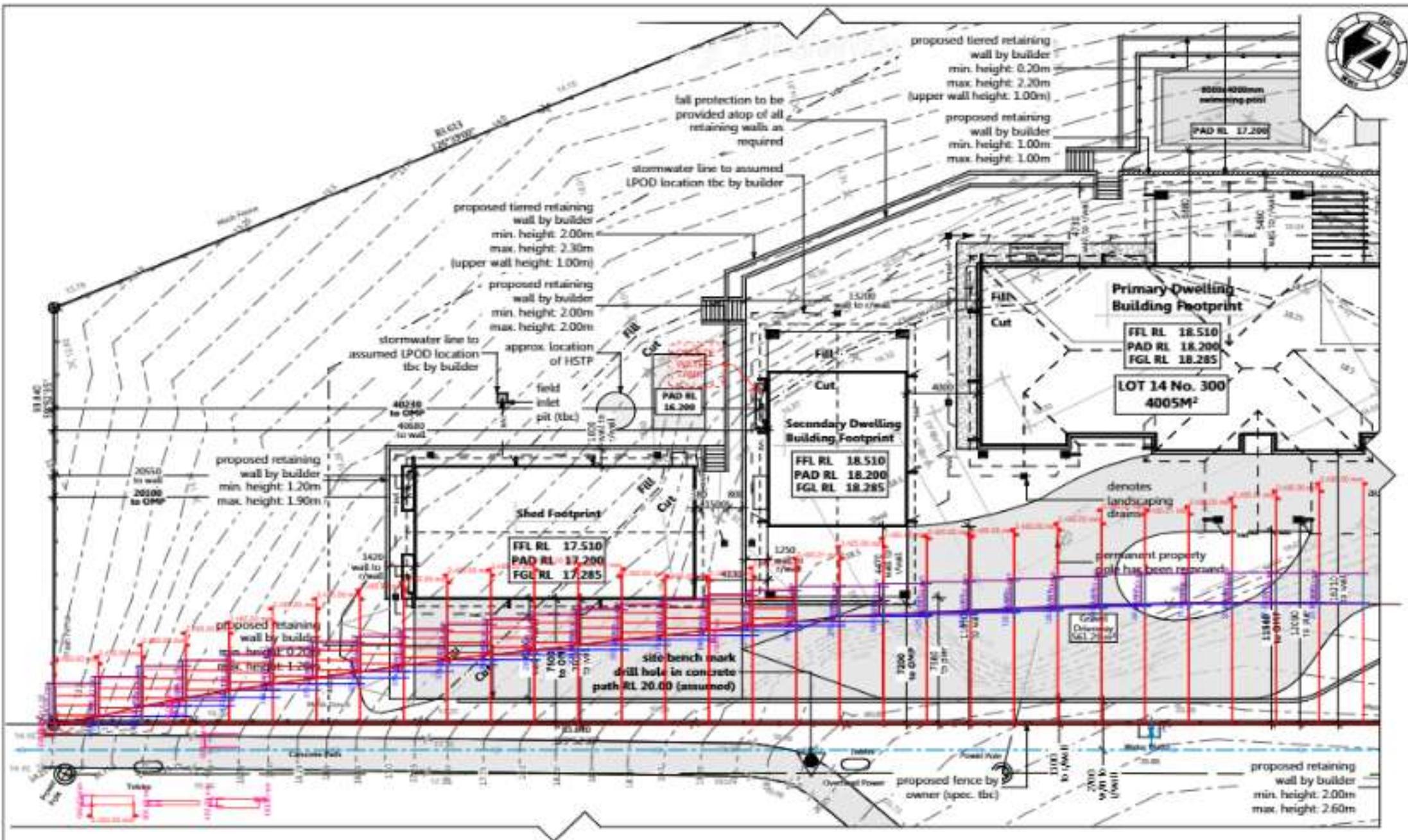


PROPOSED PRIMARY & SECONDARY DWELLINGS FOR:

D. Duff & A. Gouigou
Lot 14 No. 300 Worongary Road
Worongary QLD 4213

D
A

DESIGN AUSTRALIA
GROUP



PLEASE READ CAREFULLY
 This plan is submitted to the Council for information only. It is not a contract. The Council is not responsible for the accuracy of the information provided. Please refer to the relevant legislation for more information.

Builder
 Name: D. Duff & A. Gouglou
 Address: Lot 14 No. 300, Worongary Road, Worongary QLD 4213

Client
 Name: D. Duff & A. Gouglou
 Address: Lot 14 No. 300, Worongary Road, Worongary QLD 4213

Title
 Proposed Site Plan 1:200 (2 of 2)
 Usage: Custom

Item	Quantity	Unit	Description
Site Plan	1	Set	As per Building Approval
Survey	1	Set	As per Building Approval
Engineering	1	Set	As per Building Approval
Planning	1	Set	As per Building Approval
Structural	1	Set	As per Building Approval
Electrical	1	Set	As per Building Approval
Water	1	Set	As per Building Approval
Sewer	1	Set	As per Building Approval
Power	1	Set	As per Building Approval
Gas	1	Set	As per Building Approval
Telecom	1	Set	As per Building Approval
Other	1	Set	As per Building Approval

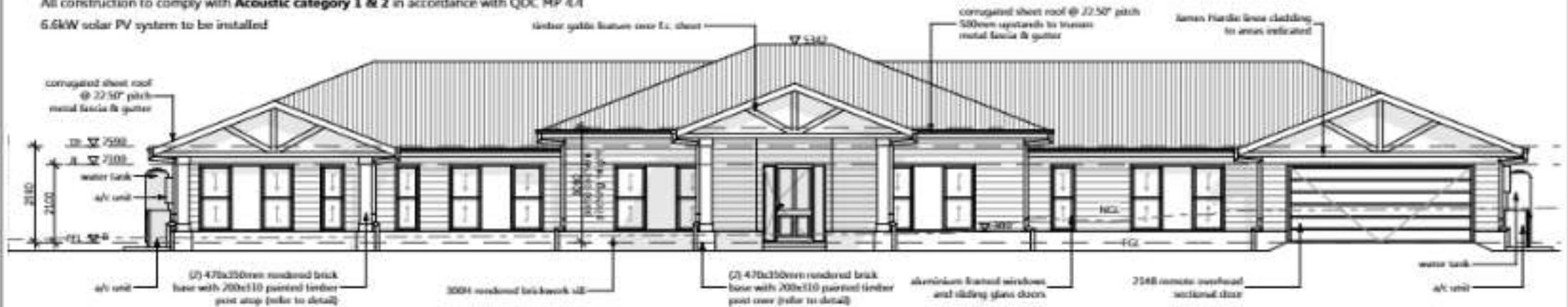
Drawing No.	4 of 24
Scale	1:200 (if A1)
Author	DA
Checked By	DA
Date	10/10/2024

Important Note

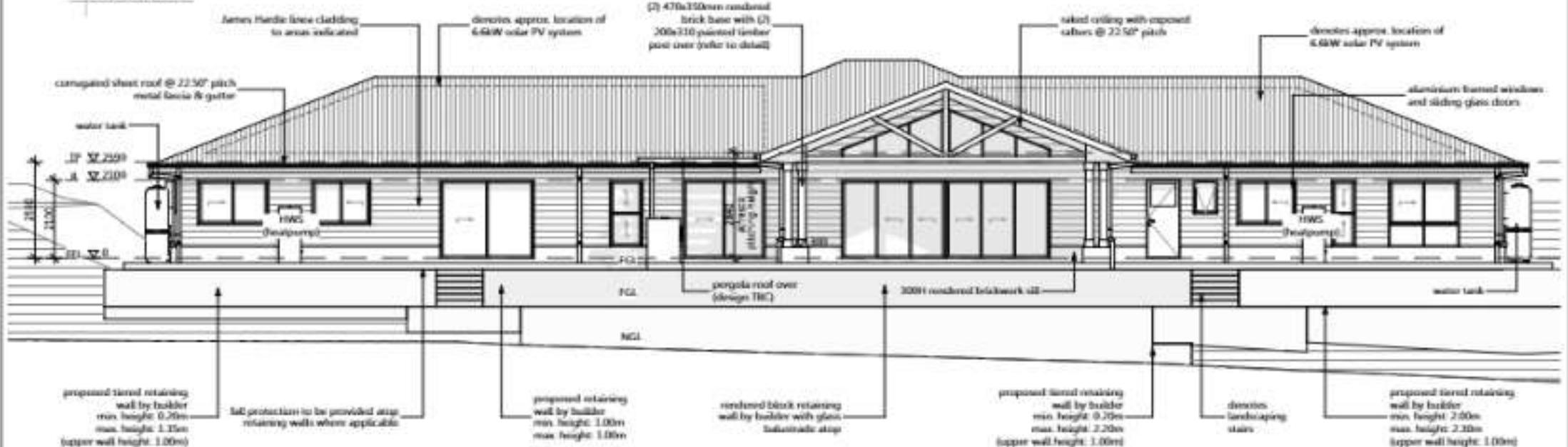
Digital lock to entry door

All construction to comply with **Acoustic category 1 & 2** in accordance with QDC MP 4.4

6.6kW solar PV system to be installed



Elevation 1



Elevation 2

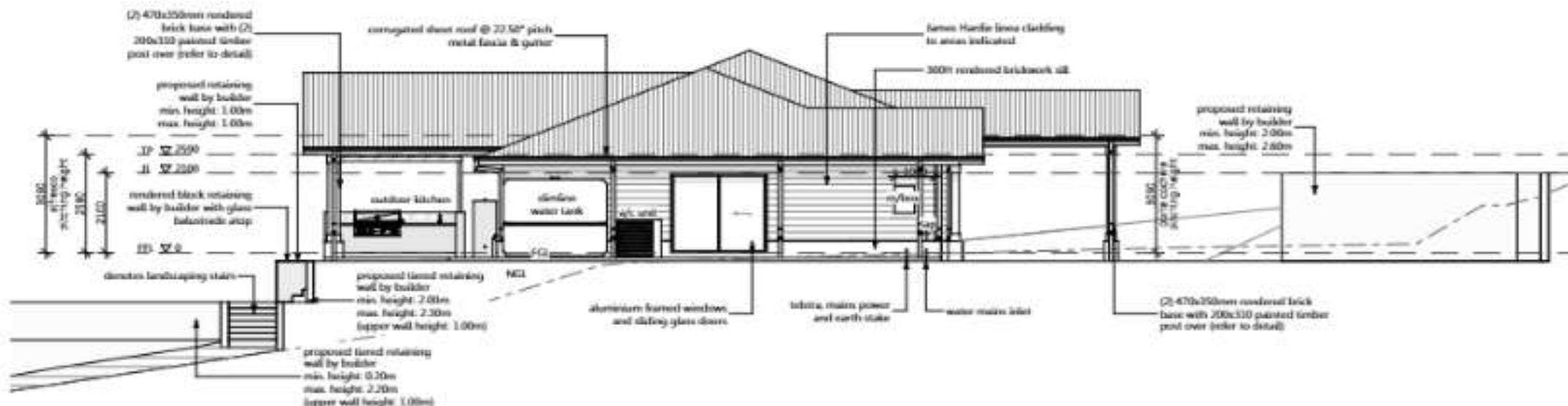
	<p>PLEASE READ CAREFULLY</p> <p>No plan alterations to be made without the written consent of the architect. Any alterations to the design must be approved by the architect in writing. The architect is not responsible for any errors or omissions in this document. The client is responsible for ensuring that all information provided is accurate and up-to-date. The architect is not responsible for any errors or omissions in this document. The client is responsible for ensuring that all information provided is accurate and up-to-date.</p>	<p>Client: D. Duff & A. Gougiou Lot 14 No. 300 Worongary Road Worongary QLD 4213</p>	<p>Title: Elevations 1 of 2 Usage: Custom</p>	<table border="1"> <thead> <tr> <th>Rev</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>11/11/2024</td> <td>Issue for Tender</td> </tr> <tr> <td>02</td> <td>11/11/2024</td> <td>Revised to include solar PV system</td> </tr> <tr> <td>03</td> <td>11/11/2024</td> <td>Revised to include pergola roof</td> </tr> <tr> <td>04</td> <td>11/11/2024</td> <td>Revised to include sectional door</td> </tr> <tr> <td>05</td> <td>11/11/2024</td> <td>Revised to include retaining walls</td> </tr> <tr> <td>06</td> <td>11/11/2024</td> <td>Revised to include acoustic details</td> </tr> <tr> <td>07</td> <td>11/11/2024</td> <td>Revised to include final details</td> </tr> <tr> <td>08</td> <td>11/11/2024</td> <td>Final Issue</td> </tr> </tbody> </table>	Rev	Date	Description	01	11/11/2024	Issue for Tender	02	11/11/2024	Revised to include solar PV system	03	11/11/2024	Revised to include pergola roof	04	11/11/2024	Revised to include sectional door	05	11/11/2024	Revised to include retaining walls	06	11/11/2024	Revised to include acoustic details	07	11/11/2024	Revised to include final details	08	11/11/2024	Final Issue	<p>Drawing No: 7 of 24</p> <p>Scale: 1:100 @ A3</p> <p>Designed By: DA</p> <p>Drawn By: DA</p> <p>Checked By: DA</p> <p>Date: 11/11/2024</p>
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07	11/11/2024	Revised to include final details																														
08	11/11/2024	Final Issue																														

Important Note

All construction to comply with **Acoustic category 1 & 2** in accordance with **QDC MP 4.4**
6.6kW solar PV system to be installed



Elevation 3



Elevation 4



6676 6676 6676
Level 1, 100 Water Street
Southport QLD 4215 Australia
(61) 07 555 2444
www.duffandgougeon.com.au
www.duffandgougeon.com.au

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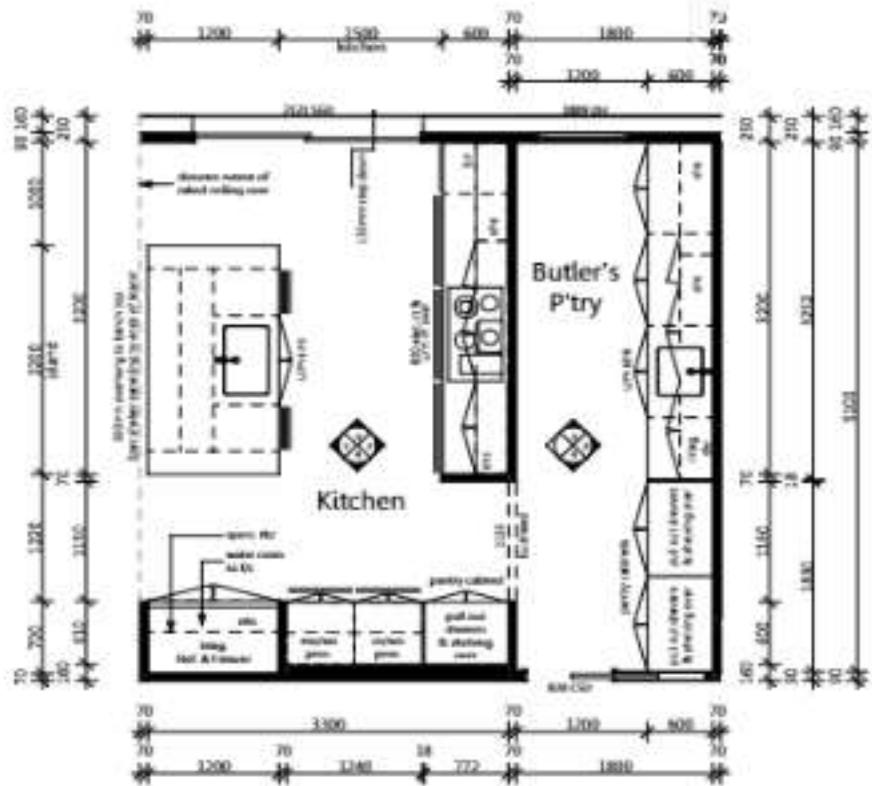
Client: D. Duff & A. Gougeon
Lot 14 No. 300
Worongary Road
Worongary QLD 4213

Client: D. Duff & A. Gougeon
Lot 14 No. 300
Worongary Road
Worongary QLD 4213

Client: D. Duff & A. Gougeon
Lot 14 No. 300
Worongary Road
Worongary QLD 4213

Rev	Description	Date
01	Issue for Tender	10/10/2024
02	Revised	10/10/2024
03	Revised	10/10/2024
04	Revised	10/10/2024
05	Revised	10/10/2024
06	Revised	10/10/2024
07	Revised	10/10/2024
08	Revised	10/10/2024
09	Revised	10/10/2024
10	Revised	10/10/2024

8	24
TRA	



Kitchen & Butler's P'try Floor Plan

Flumbing Heights (to be confirmed by plumber)	
Shower mixer	1050mm above finished slab (1100mm above rebate)
Shower SP	1850mm above finished slab (1900mm above rebate)
Tubing SP	770mm above finished slab (820mm above rebate)
Vanity SP	600mm above finished slab (650mm above rebate)
Laundry Tap SP	580mm above finished slab
Washing Machine SP	800mm above finished slab
Fridge SP	1510mm above finished slab
Bath mixer & spout	200mm above bath

Important Note:

Kitchen dimensions shown are indicative only. Final dimensions may vary, appliance spaces to be measured on site after install.

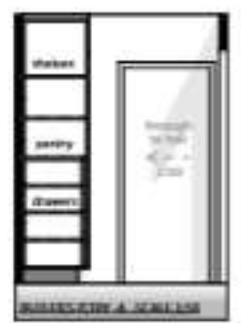
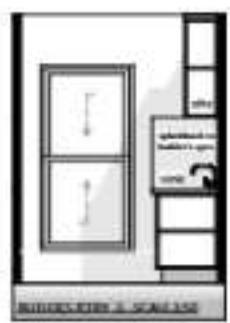
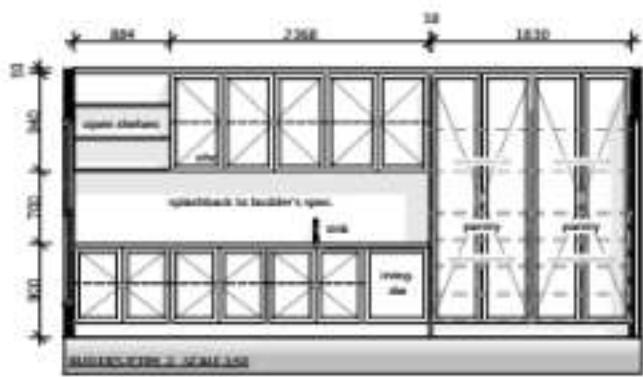
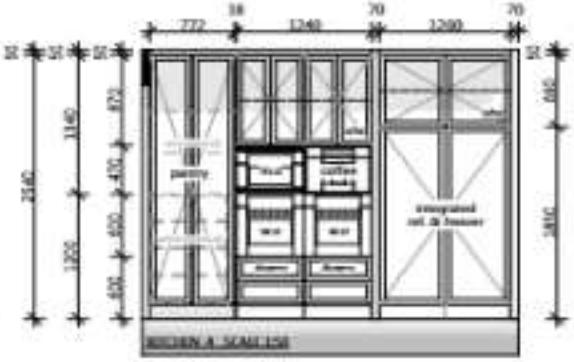
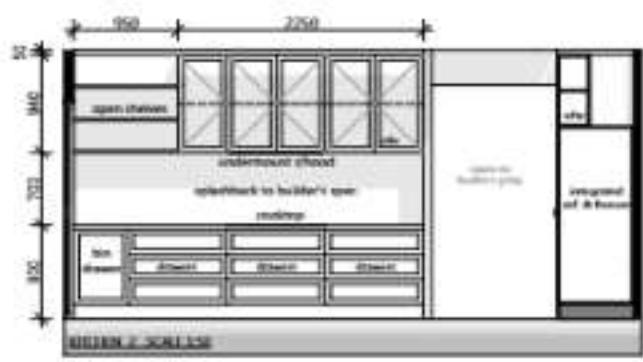
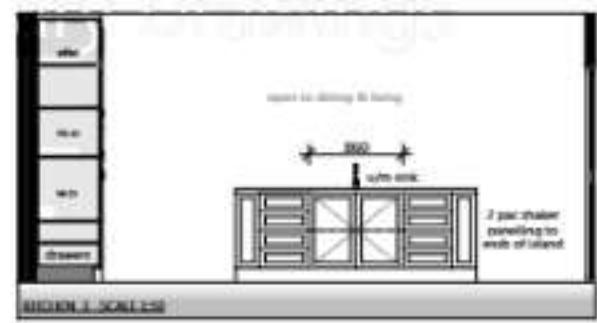
Tile hatching shown indicates areas to be tiled only and not the finished tile layout.

Fittings & fittings shown are indicative only and are not intended as an accurate representation of selected products.

Refer to builder's specifications for details.

Shaker profile cabinetry throughout (including outdoor kitchen).

Sq. set ceiling to Kitchen & Butler's P'try



PLEASE READ CAREFULLY

This plan is intended to be used as a guide only. It is not intended to be used as a contract. All dimensions are approximate and subject to change without notice. The client is responsible for verifying all dimensions and specifications on site before construction begins.

Client: J.C. Date: / /

Client: D. Duff & A. Gouglou
Lot 14 No. 300
Worongary Road
Worongary QLD 4213

Title: Kitchen Elevations
Usage: Custom

Rev	Description	Date
01	Issue for tender	12/11/24
02	Revised to include changes	12/11/24
03	Revised to include changes	12/11/24
04	Revised to include changes	12/11/24
05	Revised to include changes	12/11/24
06	Revised to include changes	12/11/24
07	Revised to include changes	12/11/24
08	Revised to include changes	12/11/24
09	Revised to include changes	12/11/24
10	Revised to include changes	12/11/24
11	Revised to include changes	12/11/24
12	Revised to include changes	12/11/24

Drawing No: 12 of 24
Scale: 1:20
Author: TRA

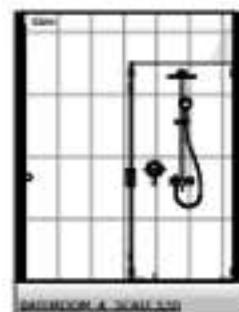
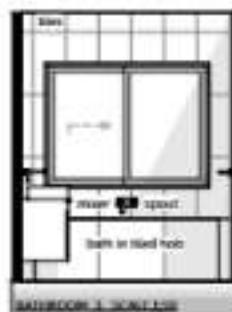
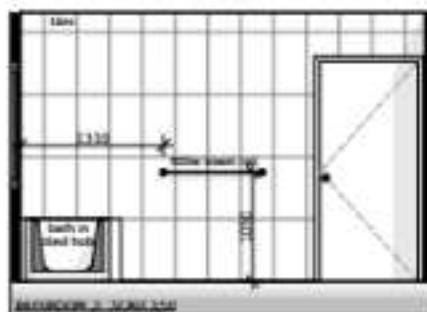
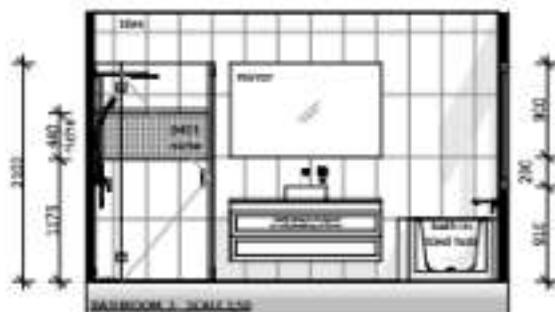
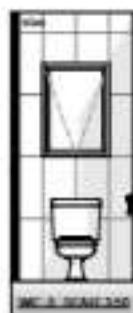


Bathroom & WC Floor Plan

Important Note:

Tile hatching shown indicates areas to be tiled only and not the finished tile layout
 Features & fittings shown are indicative only and are not intended as an accurate representation of selected products
 Refer to builder's specifications for details.
 Check specifications of exact tapware and shower roses prior to installation.
 Dimensions may differ.
 Shaker profile cabinetry throughout (including outdoor kitchen)

Fitting Heights (to be confirmed by plumber)	
Shower mixer	1070mm above finished slab (1330mm above rebate)
Shower BP	1850mm above finished slab (1990mm above rebate)
Toilet BP	770mm above finished slab (800mm above rebate)
Vanity BP	600mm above finished slab (650mm above rebate)
Laundry Tap BP	580mm above finished slab
Washing Machine BP	30mm above finished slab 20mm inside cabinet on washing machine side
Fridge BP	1910mm above finished slab
Bath mixer & spout	200mm above bath



10/20/2016 10:41 AM
 10/20/2016 10:41 AM
 10/20/2016 10:41 AM

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 This plan is intended to be used as a guide only and is not intended to be used as a contract. It is subject to change without notice. All dimensions are in millimeters unless otherwise stated. The client is responsible for ensuring that the plan is suitable for their requirements. The client is responsible for ensuring that the plan is suitable for their requirements. The client is responsible for ensuring that the plan is suitable for their requirements.

Design: Duff & A. Gougeon
 Client: J. C.
 Date: 10/20/2016

Builder:
 Date: 10/20/2016

Client:
 D. Duff & A. Gougeon
 Lot 14 No. 300
 Worongary Road
 Worongary QLD 4213

Title:
Bath & WC Elevations
 Usage Name:
 Custom

Rev	Description	By	App	Date
01	Issue for Building Approval	DD	AG	10/20/2016
02	Revised to include plumbing	DD	AG	10/20/2016
03	Revised to include electrical	DD	AG	10/20/2016
04	Revised to include landscape	DD	AG	10/20/2016
05	Revised to include pool	DD	AG	10/20/2016
06	Revised to include driveway	DD	AG	10/20/2016
07	Revised to include fence	DD	AG	10/20/2016
08	Revised to include garden	DD	AG	10/20/2016
09	Revised to include pool	DD	AG	10/20/2016
10	Revised to include driveway	DD	AG	10/20/2016
11	Revised to include fence	DD	AG	10/20/2016
12	Revised to include garden	DD	AG	10/20/2016
13	Revised to include pool	DD	AG	10/20/2016
14	Revised to include driveway	DD	AG	10/20/2016
15	Revised to include fence	DD	AG	10/20/2016
16	Revised to include garden	DD	AG	10/20/2016
17	Revised to include pool	DD	AG	10/20/2016
18	Revised to include driveway	DD	AG	10/20/2016
19	Revised to include fence	DD	AG	10/20/2016
20	Revised to include garden	DD	AG	10/20/2016
21	Revised to include pool	DD	AG	10/20/2016
22	Revised to include driveway	DD	AG	10/20/2016
23	Revised to include fence	DD	AG	10/20/2016
24	Revised to include garden	DD	AG	10/20/2016
25	Revised to include pool	DD	AG	10/20/2016
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27	Revised to include fence	DD	AG	10/20/2016
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29	Revised to include pool	DD	AG	10/20/2016
30	Revised to include driveway	DD	AG	10/20/2016
31	Revised to include fence	DD	AG	10/20/2016
32	Revised to include garden	DD	AG	10/20/2016
33	Revised to include pool	DD	AG	10/20/2016
34	Revised to include driveway	DD	AG	10/20/2016
35	Revised to include fence	DD	AG	10/20/2016
36	Revised to include garden	DD	AG	10/20/2016
37	Revised to include pool	DD	AG	10/20/2016
38	Revised to include driveway	DD	AG	10/20/2016
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Drawing No: 14 of 24
 Scale: 1:20 @ A3
 Designer: DD
 Checker: DD
 Date: 10/20/2016
 Title: TRA



Images Are Diagrams. Only Refer To Elevations For Details



20/2000 BROADWAY SUITE 100
 BROADWAY
 LEVEL 1, 100 BROADWAY
 BROADWAY QLD 4000
 (07) 5591 2000
 enquiry@designandbuild.com.au
 www.designandbuild.com.au
 20/2000 BROADWAY SUITE 100

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Design includes Group 1/1 and 1/2. This design is for a single storey house. It is not intended to be used as a contract. It is subject to change without notice. It is not intended to be used as a contract. It is subject to change without notice.

Builder

Client
 D. Duff & A. Gougou
 Lot 14 No. 300
 Worongary Road
 Worongary QLD 4213

Title
3D Perspectives
 Usage Notes
 Custom

Revised Information
 No. Date Description
 01 11 2024 Initial Design
 02 01 2024 Final Design
 03 01 2024 Final Design
 04 01 2024 Final Design
 05 01 2024 Final Design
 06 01 2024 Final Design
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 100 01 2024 Final Design

Drawing No. 16 of 24
 Date 16/01/24
 Scale 1:100
 Title 3D Perspectives

Author TRA
 Designer TRA
 Checker TRA
 Date 16/01/24



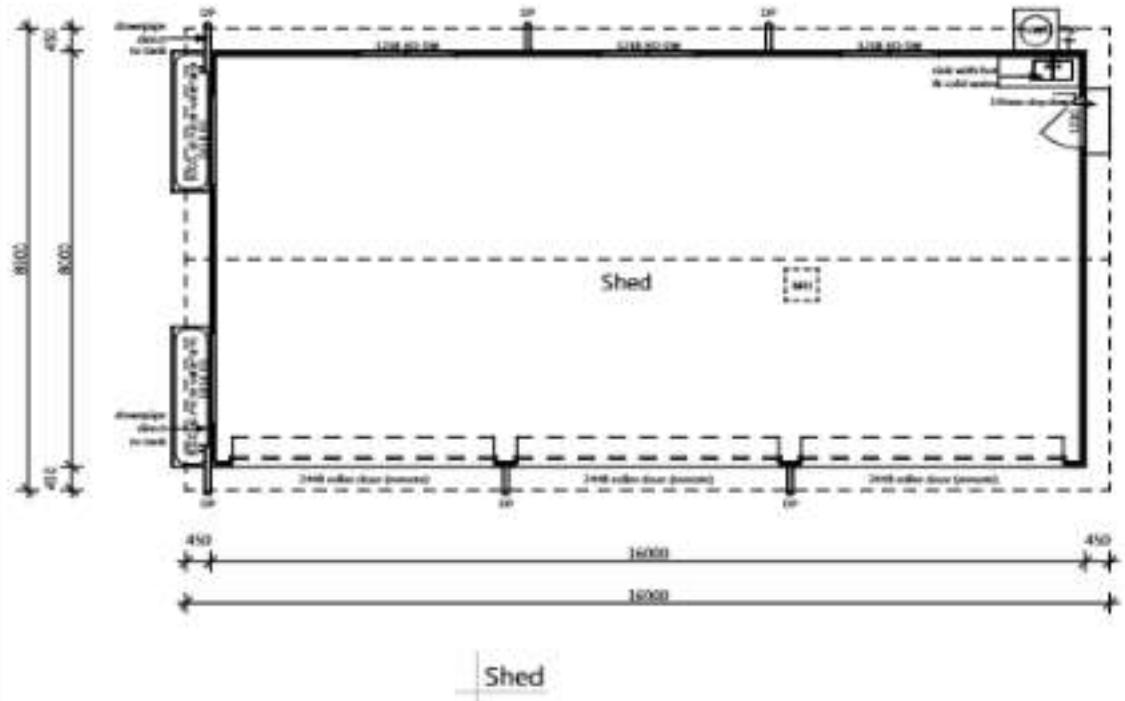
Important Note

Kitchen dimensions shown are approximate only. Final dimensions may vary, appliance spaces to be measured on site after install

Window codes are indicative of configuration only, refer to elevations for direction of openings

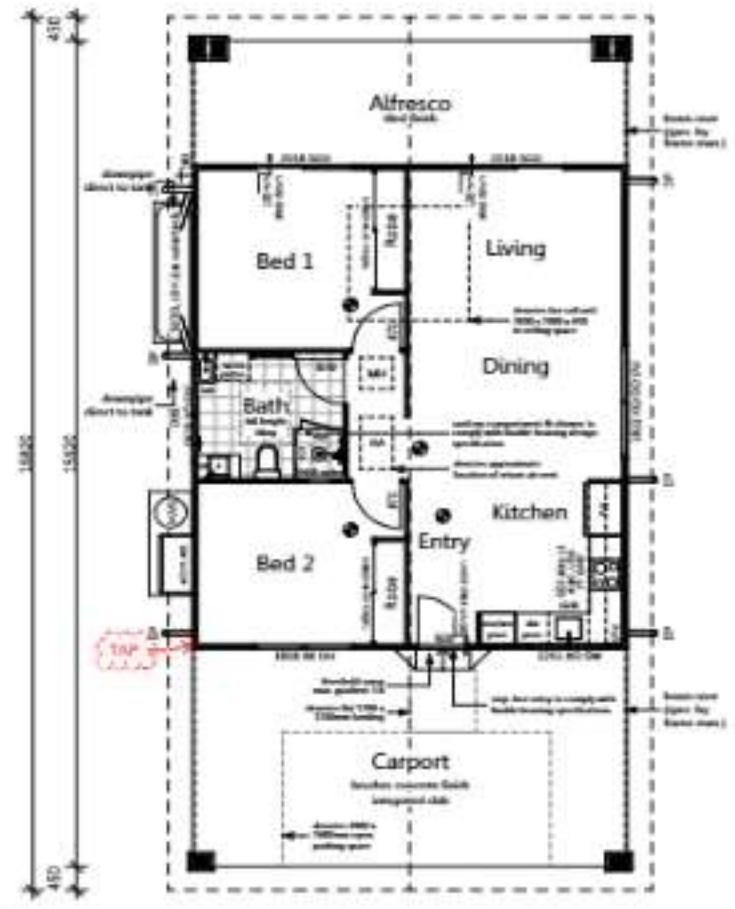
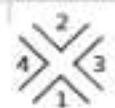
All construction to comply with **category 1 & 2 acoustic requirements** in accordance with QDC MP 4.4

Fixtures & cabinetry shown on the plans are indicative only, final selections to be confirmed by client & installed as per manufacturers specifications



Shed

Elevations

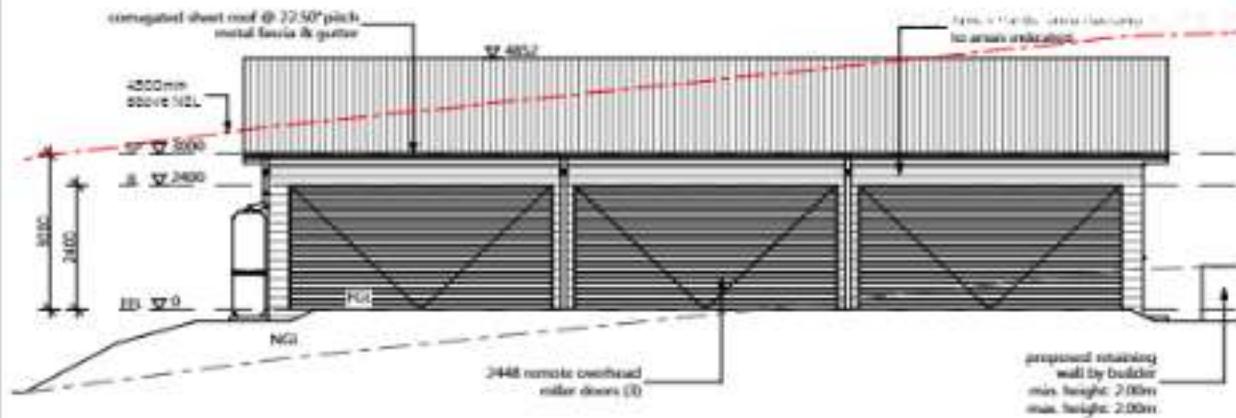


Secondary Dwelling

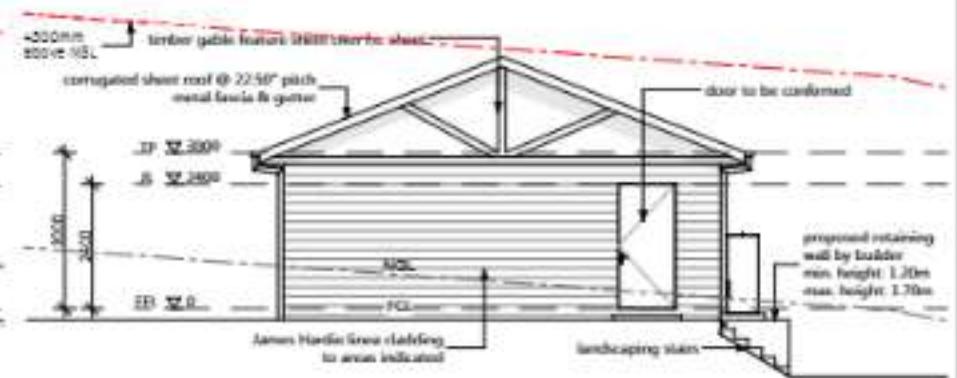
Elevations



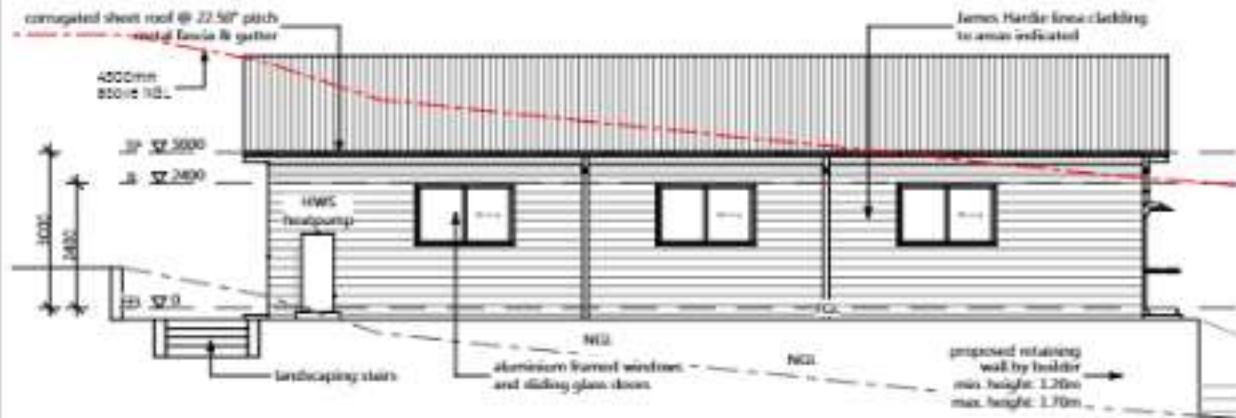
<p>APPROVED FOR CONSTRUCTION</p> <p>Approved By: [Signature]</p> <p>Approved On: 10/01/2024</p> <p>Project No: 240100000000000000</p>	<p>PLEASE READ CAREFULLY</p> <p>This plan is intended to be used as a guide only. It is not intended to be used as a contract. All dimensions are approximate and subject to change without notice. The client is responsible for ensuring that the plan is suitable for the intended use and for obtaining all necessary approvals and permits. The client is also responsible for ensuring that the plan is in accordance with all applicable laws and regulations.</p> <p>Client / J.C. [Signature]</p> <p>Client / J.C. [Signature]</p>	<p>Design: [Signature]</p> <p>Builder:</p>	<p>Client:</p> <p>D. Duff & A. Gouglou</p> <p>Lot 14 No. 300</p> <p>Worongary Road</p> <p>Worongary QLD 4213</p>	<p>Title:</p> <p>Floor Plan 1:100 (Secondary Dwelling & Shed)</p> <p>Usage: Custom</p>	<p>Item</p> <p>Quantity</p> <p>Unit</p> <p>Description</p>					
					<p>17</p> <p>24</p>					



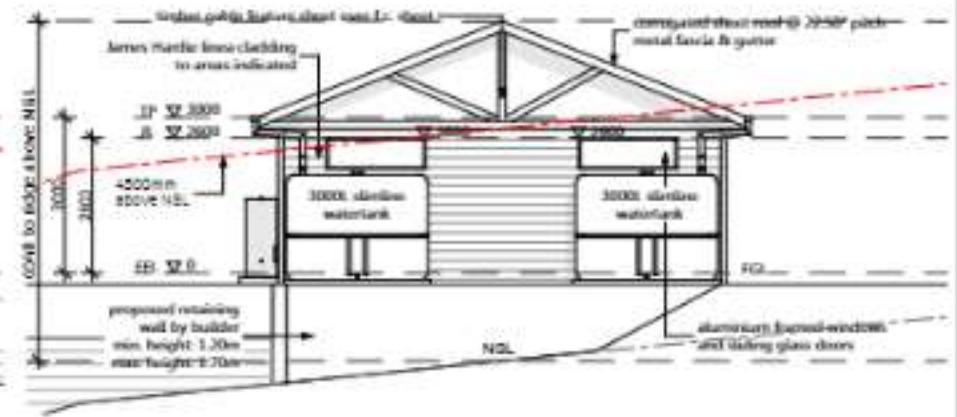
Elevation 1



Elevation 3



Elevation 2



Elevation 4



10/10/2024 10:00 AM
 10/10/2024 10:00 AM
 10/10/2024 10:00 AM
 10/10/2024 10:00 AM

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Design: Duff & A. Gougeon
 Client: D. Duff & A. Gougeon
 Lot 14 No. 300
 Worongary Road
 Worongary QLD 4213

Client: D. Duff & A. Gougeon
 Lot 14 No. 300
 Worongary Road
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Title: Elevations 3 of 3
 Usage Name: Custom

Rev	Description	Rev	Description
01	Issue for Building Approval	01	Issue for Building Approval
02	Issue for Building Approval	02	Issue for Building Approval
03	Issue for Building Approval	03	Issue for Building Approval
04	Issue for Building Approval	04	Issue for Building Approval
05	Issue for Building Approval	05	Issue for Building Approval
06	Issue for Building Approval	06	Issue for Building Approval
07	Issue for Building Approval	07	Issue for Building Approval
08	Issue for Building Approval	08	Issue for Building Approval
09	Issue for Building Approval	09	Issue for Building Approval
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Drawing No	Scale	Author	Checked By
21 of 24	1:100	DA	DA

Electrical Legend

	Single Power Outlet		Heater / Light / Fan
	Single Power Outlet - Weather Proof		T.V Point
	Double Power Outlet		Smoke Alarm
	Double Power Outlet - Weather Proof		Phone / Data Point
	Ceiling Down Light Point		Skylight
	Low Voltage Down Light Point		Ceiling Fan
	Pendant Light Point		Ceiling Fan / Light
	Bunker Light		Air Conditioner - Internal Unit
	Fixed Light Point		Air Conditioner - External Unit
	Up & Down Light Point		Gas Connection Point
	LED Strip Light Point		NBN
	Single Flush Light Point		Air conditioning ceiling outlet
	Sensor Light Point		Air conditioning wall outlet
	Ceiling Exhaust Fan (vented to ceiling space)		
	Ceiling Exhaust Fan (vented externally)		

Electrical Notes

Light Switches	@ 1350 AFL
Wall Mounted Lights	@ 2000 AFL
Power Outlets (Standard)	@ 300 AFL
Power Outlets (Other)	
Microwave Oven (Oven Tower)	@ 1800 AFL
Microwave Oven (Island Bench)	@ 650 AFL
Kitchen Bench	@ 1000 AFL
Refrigerator	@ 1500 AFL
Rangehood	@ 1800 AFL
Dishwasher	@ 300 AFL
Vanity Saxes	@ 1000 AFL
Laundry Bench	@ 1800 AFL
Washing Machine	@ 1500 AFL

Important Note

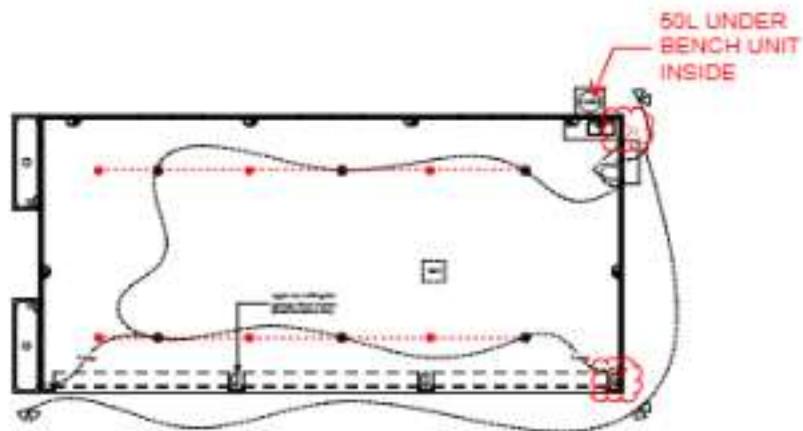
Ventilation to internal wc, bath, ensuite to be an exhaust fan in accordance with NCC 10.6.2 & NCC 10.6.3 & NCC 10.8.2 & AS - 1668.2

Smoke alarms to be hard-wire installed & inter-connected in accordance with NCC Part 9.5.1

Smoke alarms to be positioned as per Part 5A Smoke Alarms for Domestic Dwellings from the Building Fire Safety Regulation 2008

Ducted A/C throughout (Dwelling Extension)

Electrical circuit location & supply to the auxiliary buildings & all electrical fixtures to be confirmed by builder & / electrician



Shed



Secondary Dwelling

